



City Council Report

City Council Meeting: March 7, 2017
Agenda Item: 3.A

To: Mayor and City Council
From: David Martin, Director, City Planning
Subject: Request to Approve Plans to Restore and Rehabilitate the Historic Interior Lobby of the Former United States Post Office Building Located at 1248 5th Street, in Accordance with a Preservation Covenant Administered by the City Council

Recommended Action

Staff recommends that City Council:

- 1) Approve the request to restore and rehabilitate the historic interior lobby of the former Post Office building, located at 1248 5th Street, a designated City Landmark, as described in plans dated December 19, 2016; and
- 2) Designate the Landmarks Commission Secretary as its designee to review and approve certain future interior modifications to the historic lobby.

Executive Summary

The property owner is requesting approval to restore and rehabilitate the historic lobby of the former United States Post Office located at 1248 5th Street as part of an overall plan to adaptively reuse the Landmark building as a headquarters for Skydance Productions, a film/television production company. The applicant/property owner intends to utilize the historic lobby as both a visitor reception area and a commissary to support on-site employees and guests. Because the lobby is governed by a preservation covenant that is administered by the City Council, permission to make any alterations, including restoration and rehabilitation activities, must be granted by the City Council.

The property owner has retained the services of a preservation architect, Chattel, Incorporated, who has achieved a sensitive design approach that balances corporate prerequisites with historic sensitivity, and provides assurance that the project complies with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Overall, the scope of work maintains the integrity of the historic lobby and enhances the historic character of the lobby in accordance with the Preservation Covenant and Landmarks Ordinance.

Staff recommends that the City Council appoint the Landmarks Commission Secretary to act as its designee to approve certain minor modifications to the historic lobby based on the recommendation of a qualified historic architect.

Background

On August 27, 2013, the Council approved a preservation covenant for the former Downtown Post Office building in advance of its sale to a private party. The preservation covenant, which was attached as a rider to the grant deed, ensures protection of the property's historic integrity, and that its distinct features and finishes will be retained, including those found in the historic interior lobby space including:

- the original hanging light fixtures,
- marble wainscot,
- horizontal wood walls and ceilings,
- metal staircase rails, and
- tall tables

Please note that further research has since confirmed that the salmon-color marble wainscot is not original to the building's construction in 1938. The original wainscot consisted of four-inch square terra cotta tiles. A tile believed to be from the original wainscot was found in the janitor's closet in the southern portion of the building. The tile was examined by the applicant's architectural conservator. It was beige in color, and the material was identified as terra cotta.

On March 10, 2014, the Landmarks Commission designated the former Post Office building and the parcel on which it is situated as a Landmark and Landmark Parcel. In doing so, the protection of any historic feature included in the designation would be achieved pursuant to the Landmarks Ordinance, specifically through the issuance of a Certificate of Appropriateness. However, as the designation did not include any interior portion or elements of the building, the protection of any of these identified features, as specified in the historic covenant, can only be accomplished through Council approval. A Certificate of Appropriateness is only relevant to those features specifically identified in the Landmark designation.

On October 27, 2015, the City Council approved on its consent calendar a procedural

and testing protocol for analyzing material samples and finishes on interior portions of the former United States Post Office building. The results of this analysis guided the applicant in developing the plans currently under consideration.

On April 20, 2016, the Planning Commission approved a rear building addition to the former Post Office building and an associated parking variance to accommodate its future adaptive reuse as creative office space. This decision was appealed, and ultimately upheld by the City Council on August 9, 2016. The City Council decision included a condition of approval that encouraged the applicant to present any proposed alterations to the historic interior lobby to the Landmarks Commission for its recommendation prior to formal review of the proposed alterations by the City Council.

On September 12, 2016, the Landmarks Commission approved a Certificate of Appropriateness for the proposed building design, colors, materials, lighting and landscaping for the approved expansion and for rehabilitation of the building's exterior and grounds.

On November 14, 2016, the Landmarks Commission received a courtesy presentation describing the rehabilitation and restoration activities affecting the historic interior lobby that are necessary in support of the building's adaptive re-use. The Landmarks Commission provided its unanimous recommendation in support of the request and encouraged the applicant to celebrate the nuances of the building's past as a former US Post Office and reveal this history in the lobby design through retention of past repair work. Commissioners also suggested aligning the wood intersections on the ceiling to minimize the stepping and encouraged the use of light wood finishes. Any new construction should be differentiated through the use of diverse materials. Commissioners raised safety concerns regarding the glass partitions.

Discussion

The historic lobby of the former Post Office building has undergone numerous renovations since the date of its original construction in 1938. The applicant is proposing a two-prong preservation approach in connection with the applicant's

adaptive reuse of the building's lobby to accommodate creative office space; rehabilitation and restoration.

- Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historic, cultural, or architectural values. Rehabilitation allows compatible new construction. Generally speaking, the proposed rehabilitation work includes the removal of non-historic features and materials and the installation of any replacement, and the construction of a new partition walls to separate the reception lobby and commissary spaces.
- Restoration is the process of accurately depicting the features and character of a property as it appeared at a particular period of time, typically its period of significance. This is accomplished by removing features from other periods in its history and reconstructing missing features from its period of significance. The restoration activities proposed will return the configuration, materials, and finishes of the terrazzo flooring and wood board cladding to their original appearance.

Specific details of the proposed rehabilitation and restoration of the lobby is presented below, specific to general building parameters. The plans were developed by the applicant's preservation architect, and represent the recommended treatment to ensure consistency with the Secretary of the Interior's Standards for the Treatment of Historic Resources, as required by the Preservation Covenant.

Walls

The lobby walls and ceilings are partially clad in sugar pine (a type of white pine) which would be retained in place. The walls have experienced discoloration and are showing signs of crazing (cracking) and separation. The proposed treatment of the historic wood cladding would include removal of the layers of coating using a chemical application, cleaning of the wood, and application of a new clear coating. A reddish-brown oil based stain will be applied, matched to the color of the trim. Following the removal of non-historic alterations, any holes would be patched or wood boards would be replaced in-kind, as necessary and where appropriate.

The existing non-historic marble wainscot would be removed and replaced with new natural limestone slabs in a neutral grey color with a honed finish. This will result in an appearance that would be more consistent with the appearance of the original tile wainscot.

The historic, individual customer service windows along the west wall would be reestablished with an interpretation that would generally utilize historic sizes and pattern based on original drawings and early photographs. These new windows would be comprised of clear glass with signage panels above and painted surrounds and sills. For fire safety purposes, the sills and surrounds would be reimagined in steel (as opposed to wood) and painted to match other features of the lobby. Gold leaf lettering would be restored on the signage panels above each service window based on original drawings, and individually would read as Parcel Post, Stamps, General Delivery, Information, and Registry.

A non-historic roll-up metal door and counter at the south wall recess would be removed and infilled with a new wood frame and glazed double-door. The janitor's original wood door would be fixed in place. The original stainless steel handrail would be reinstalled in the same location on this wall, and the decorative stainless steel railing surrounding the stair in this location will also be retained in place.

Ceiling and Lighting

The historic wood ceiling would remain in place and would be repaired and treated in the same way as the historic wood walls. The six historic pendant light fixtures would be re-lamped and restored to original sizes (where previously truncated). Any canned lighting will be removed.

Terrazzo Flooring

The existing terrazzo lobby floors will be retained, repaired, cleaned and treated with an application of a new protective clear coating.

Partitioning

The non-historic wood and glass partition wall that separated the customer service area from postal boxes area of the lobby will be removed. A new wood and glass partition wall will be installed in a new location that aligns with the pilasters directly south of the northern entrance. This new partition wall will serve to divide the historic lobby into a reception lobby in the northern end from a commissary dining room in the center. A secondary free standing partition wall would further divide the commissary space in the center from an employee lounge area to the south. The partitions would include mill work for storage. Per the recommendation of the Landmarks Commission, the millwork aspect of these partitions would be clad in maple to differentiate the new additions from the historic sugar pine clad walls. Also, the extensive use of glass maintains the spatial relationships and feeling that the lobby is one long rectilinear space.

Desk and Tables

The lobby consisted of five original tall maple tables with stainless steel feet and non-original composite tops. They were originally bolted to the ground. These tables have been identified as historic interior features. The tables would be retained as movable furniture pieces used within the rehabilitated commissary. The table's non-original composite material topping would be replaced with glass, as they were historically.

Future Interior Modifications and Alterations

The approved preservation covenant for the former Downtown Post Office building was approved by City Council in advance of its sale to a private party. The preservation covenant, which was attached as a rider to the grant deed, ensures protection of the property's historic integrity, and that its distinct features and finishes will be retained, as described in the Background section of this report including those found in the historic interior lobby space. Because the lobby is governed by a preservation covenant that is administered by the City Council, permission to make any alterations, including restoration and rehabilitation activities, must be granted by the City Council. This process could be time consuming to the property owner, particularly when a proposed alteration is minor in nature and will not result in any compromised integrity. To remedy this, staff recommends that the City Council direct any alterations of the historic lobby

proposed by the property owner be undertaken with the assistance of a historic architect meeting the Secretary of the Interior's Professional Qualification Standards in Historic Architecture (36 CFR Part 61, Appendix A). Staff further recommends that the City Council appoint the Landmarks Commission Secretary to act as its designee to approve any minor modifications to the historic lobby, such as refinements of approved colors, materials, finishes, lighting, fixtures or partitions, provided that the work will not negatively impact any of the identified character-defining features of the lobby and the work will be completed in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The property owner's historic architect shall affirm this in written correspondence to the Landmarks Commission Secretary prior to any approvals being granted. Staff further recommends that the City Council retain its review and approval authority on significant changes to the rehabilitation and restoration of the historic lobby, including the removal of any of the identified character-defining features.

Financial Impacts and Budget Actions

There is no immediate financial impact or budget action necessary as a result of the recommended action.

Prepared By: Scott Albright, Senior Planner

Approved

Forwarded to Council



David Martin, Director

2/23/2017



Rick Cole, City Manager

2/26/2017

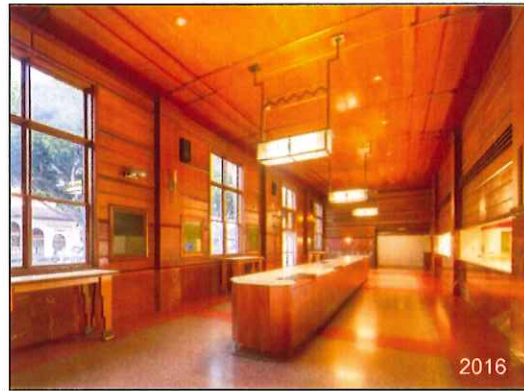
Attachments:

- A. Conformance Review Report of Proposed Interior Lobby Rehabilitation
- B. REVISED Restoration and Rehabilitation of Historic Lobby Plans

C. Written Comments

SANTA MONICA POST OFFICE
1248 5TH STREET
SANTA MONICA, CA 90401

CONFORMANCE REVIEW OF
PROPOSED INTERIOR LOBBY REHABILITATION



PREPARED BY:
CHATEL, INC. | HISTORIC PRESERVATION CONSULTANTS
13417 VENTURA BOULEVARD
SHERMAN OAKS, CA 91423

DECEMBER 19, 2016

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INTRODUCTION

This report evaluates proposed rehabilitation of the former Santa Monica Post Office lobby for conformance with the *Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards)*. The current scope of work involves rehabilitation of the historic lobby, and reuse as a reception lobby and a commissary for employees of the creative office space. The proposed project is part of a comprehensive adaptive reuse and rehabilitation project of the former post office, which was the subject of a Certificate of Appropriateness application, approved by the Santa Monica Landmarks Commission on September 12, 2016. The scope of work specific to the lobby consists of rehabilitation to include removal of non-historic alterations and additions, restoration of the original floor plan and wall configuration, restoration of other elements of the original design such as window fenestration, repair and treatment of historic materials such as the terrazzo flooring and wood wall cladding, and construction of a new wood and glass partition wall. This scope of work also includes protection during adjacent construction, and various new systems such as fire sprinklers, heating and ventilation, and lighting.

The Santa Monica Post Office, located at 1248 5th Street (subject property), and the interior lobby are protected by a Preservation Covenant administered by the Santa Monica City Council. The former post office building exterior and parcel were designated a City Landmark and Landmark Parcel, respectively, on January 13, 2014; however, the former public lobby was excluded from the Landmark designation because the building was no longer open to the public at the time of designation. Because the interior lobby is excluded from the Landmark designation, authority over proposed alterations in the lobby comes solely within the jurisdiction of the City Council by virtue of its enforcement powers under the Preservation Covenant. Prior to request for approval by City Council, proposed plans for rehabilitation of the lobby were presented to the Landmarks Commission on November 14, 2016 for review and recommendation. Since the November Landmarks Commission review, project plans have been revised to address comments and recommendations.

The Preservation Covenant, as well as the Santa Monica Landmarks Ordinance, require proposed work within the lobby conform with the *Secretary's Standards*. Chattel, Inc., Historic Preservation Consultants (Chattel) has collaborated and worked closely with the project team to develop a scope of work for the lobby that is in conformance with the *Secretary's Standards*.

This Conformance Review of the proposed lobby rehabilitation was prepared by Chattel President, Robert Chattel and Associate, Sarah Vonesh, based on the submittal package dated December 19, 2016 and finds the proposed work in conformance with the *Secretary's Standards*. To prepare this report, Chattel reviewed existing documentation of the lobby including a report on the existing materials and finishes, *Santa Monica Post Office Review of Interior Lobby Finishes* by Wiss, Janney, Elstner Associates, Inc. (June 2016), original drawings, and early construction and other historic photographs, included in Attachment 1. Attachments include historic (Attachment 1) and contemporary (Attachment 2) photographs of the lobby, and the Preservation Covenant (Attachment 3).

BACKGROUND

The original building permit for the Santa Monica Post Office was issued for construction in 1937. Drawings from that same year were prepared by the U.S. Treasury Department, Public Buildings Branch, and identify Louis A. Simon as Supervising Architect and Neal A. Melick as the Supervising Engineer. Local architect Robert Dennis Murray is identified as the Consulting Architect. The building was designed as a federal post office in the Public Works Administration Moderne Style (known as PWA Moderne) with Art Deco motifs concentrated on the front (east) façade. The post office building was dedicated and opened to the public on July 23, 1938.

The building operated as the main Santa Monica Post Office for 75 years until closing on June 29, 2013. In December 2013, the United States government sold the property to the current private owner. Sale of the subject property by the federal government was considered an “undertaking” for purposes of Section 106 of the National Historic Preservation Act of 1966, as amended. To conclude Section 106 review, a Preservation Covenant providing for long-term preservation was drafted and subsequently approved by the Santa Monica City Council acting as the Certified Local Government. The Preservation Covenant was recorded as part of the grant deed on December 20, 2013 and at that time, the property transferred to the present owner. On March 10, 2014, the post office building exterior and parcel were designated a Santa Monica Landmark and Landmark Parcel, respectively. Though the Landmarks Ordinance allows for interior portions of properties to be designated if they are regularly open to the public, the post office building had been closed to the public at the time, excluding the interior lobby from the Landmark designation. Thus, alterations to the exterior and the parcel are subject to review by the Landmarks Commission, but alterations to the interior lobby are subject to review and approval by City Council.

The project’s development review permit and parking variance were the subject of a Mitigated Negative Declaration (MND) that came before the Planning Commission and was approved on April 20, 2016.¹ Aspects of the project were presented to the Landmarks Commission during six courtesy reviews on August 10, 2015, November 9, 2015, December 14, 2015, February 8, 2016, May 9, 2016, and November 14, 2016. Certificate of Appropriateness applications were previously approved on December 14, 2015 for demolition of certain landscape and hardscape features and new construction of a perimeter fence; February 8, 2016 for the color of the perimeter fence; May 9, 2016 for removal of the Canary Island Date Palm tree on the south lawn; and September 12, 2016 for exterior rehabilitation and a rear and rooftop addition. City Council approval was granted to test interior materials by on October 27, 2015.

Preservation Covenant

The Preservation Covenant requires preservation of “...those qualities that resulted in this property being eligible for listing on the National Register of Historic Places.”² Construction, alterations, and rehabilitation work must be in conformance with the *Secretary’s Standards* for rehabilitation. The covenant requires that no work be undertaken without prior consultation with, and permission from the City of Santa Monica.

The covenant identifies the following character-defining features to be retained:

Interior:

- Original hanging light fixtures
- Marble wainscot³
- Horizontal wood paneling on walls and ceilings with zigzag motif
- Metal staircase railing with chevron ornamentation
- Terrazzo flooring
- Original tall tables used for post office patrons

Exterior:

- Overall mass and plan of façade

¹ *Santa Monica Post Office Productions: Final Initial Study/ Mitigated Negative Declaration*. Prepared for the City of Santa Monica by Amec Foster Wheeler Environment and Infrastructure, Inc., March 2016.

² Preservation Covenant, 1248 5th Street, Santa Monica CA, item 1, lines 6-7.

³ Marble wainscot in the lobby was identified as a character-defining feature; however, upon further research and inspection it was discovered that the marble is contemporary and replaced the original tile wainscot during a 1990-2000 renovation. Because the marble is a recent addition to the lobby and has not taken on significance, it should not be treated as a character-defining feature of the subject property.

- Scalloped detail at the roofline
- Board-formed concrete exterior
- Tri-banded cornice lines
- Art Deco style lettering over the central window reading "United States Post Office"
- Dedication plaque
- Modernistic pilasters along the façade
- Columns capped with extremely stylized Corinthian capitals
- Concrete wave and Art Deco motifs over the main entrances including reliefs of globes set over stylized eagle's wings flanked by grooved vertical bands
- Granite steps
- Low-lying ornamental metal railing with a chevron motif

The Preservation Covenant provides that to the extent the Landmarks Ordinance applies, the procedures of the Landmarks Ordinance shall be followed for approval of alterations to the property. The Landmarks Ordinance allows for interior portions of properties to be designated if they are regularly open to the public, however, the post office building had been closed to the public by the time of designation. Thus, alterations to the exterior and the parcel are subject to review by the Landmarks Commission, but alterations to the interior lobby are subject to review and approval by City Council.

As a condition for approval of the Development Review Permit and Variance, the Planning Commission encouraged the owner to present proposed alterations of the lobby to the Landmarks Commission for courtesy review before seeking Santa Monica City Council approval. In accordance, the proposed project plans for the lobby rehabilitation were presented to the Landmarks Commission on November 14, 2016 for review and recommendation prior to request for approval by City Council.

DESCRIPTION

The former Santa Monica Post Office is situated at the corner of 5th Street and Arizona Avenue with its primary (east) facade fronting 5th. The building is rectangular and symmetrical, with two stories of reinforced concrete construction, plus a basement level. Exterior walls are painted board-formed concrete with cast stone ornamentation concentrated on the east facade. The east façade contains two entrances, both containing sets of double doors set within monumental entry portals. Fenestration consists of tall, six-light windows that are evenly spaced across the east, north, and south elevations. The rear (west) elevation has loading dock spanning its length, and a grouping of fenestration and openings for ventilation and other utilitarian purposes.

The two facade entrance doors on 5th are the building's main points of access. Raised slightly above grade, the entrances are accessed by granite steps in addition to a sloped walk at the north entrance. Cast stone decorative motifs depicting a globe over stylized eagle's wings above are set above each doorway. Entrances access the rectilinear lobby, running north to south along most of the length of the east façade. The PWA Moderne stylistic approach on the exterior is translated into the lobby interior. Terrazzo flooring and wall and ceiling wood board cladding in two tones with stylized geometric designs are indicative of the PWA Moderne style (Attachment 2, Images 7-10). Original decorative features within the lobby include Art Deco style wood tables with stainless steel feet and stainless steel hanging light fixtures with zigzag motifs (Images 11, 14). Evidenced by the existing light fixtures, table bases, original drawings, and early photographs, original hardware and metal finishes were generally stainless steel; however, much of the original hardware is no longer extant. Other lobby features include eight original inset wood-framed bulletin boards, some with signage above, pilasters along east and west walls dividing each bay, Streamline inspired wood grills at the upper wall area along the west wall, and false grills on the north and south walls (Image 13).

As a result of various alterations over time, the lobby has been expanded and divided into two distinct spaces by a non-original partition wall (Image 16). The northern portion consists of alcoves/projections formerly containing postal boxes and the southern portion consists of retail service counters. At the southern end of the lobby, a set of L-shaped terrazzo stairs provide access to the basement (Image 15). The stairs are surrounded by a non-historic stainless steel railing designed to closely match exterior railings, and an original stainless steel handrail curves down the inside wall.

Alterations

The lobby has undergone numerous renovations since construction. Most noticeably, the overall space has been enlarged and reconfigured by removing an office north of the lobby and extending the floor plan and finishes into that area. Other major alterations include addition of a partition wall dividing the northern and southern portions, replacement of tile wainscoting with marble, removal of individual service windows and replacement with open service counters, addition of projecting alcoves to accommodate postal boxes, replacement of the railing surrounding the stairs, and opening the south wall into the former postmaster's office.

The following list of lobby alterations have been observed and documented in original and alteration drawings, as well as construction and other early photographs (Attachment 1, Images 1-5):

- Addition of two inset bulletin boards along the east interior elevation (1942).⁴
- Addition and subsequent removal of approximately four-foot square ceiling mounted light fixtures, blemishes and holes visible (1964).
- Alteration of the lobby configuration and floor plan. Alcoves added for postal boxes in northern half of lobby and full height partition wall with sliding door was added in the approximate center of the space to separate the service area from the postal box area. Service windows removed from north wall and replaced with postal boxes (1971).⁵
- Removal of individual service windows on west wall in southern portion, replacement with long, open service counter (1971).
- Removal of entry vestibules. North removed in 1971, south removed at unknown date (unknown date, before 1990s).
- North wall relocated to current position, in place of original "Money Order and Postal Savings" office. (unknown date, after 1974).
- Renovations including modifications to postmaster and assistant postmaster's offices south of lobby to provide additional retail space.
- Addition of recessed can and wall-mounted sconce lighting (1992, 1996, and 1998).⁶
- Renovation including: removal of tile wainscot and replacement with marble wainscot, addition of counter in southern portion, original stainless steel railing surrounding basement stairs replaced with new railing, replacement of aluminum windows with new fixed wood windows (2000).⁷
- Removal of all original and added postal boxes (2013).
- Replacement of original table tops from glass to a composite material (unknown date).

⁴ Federal Works Agency, Public Buildings Administration, Drawing Title: "Bulletin Boards and Miscellaneous Repairs," February 16, 1942.

⁵ General Services Administration, U.S. Post Office, Santa Monica, CA, 5th and Arizona Ave, Drawing Title: "New Service Counter and Box, Lobby, etc.," July 2, 1971.

⁶ United States Postal Service, Project Detail Information Project Number C5F053, "Renovate Lobby," completion date August 26, 1992; United States Postal Service, Project Detail Information Project Number F08429, "Refurbish Lobby," completion date May 20, 1996; United States Postal Service, Project Detail Information Project Number F43372, "Interior Renovation," completion date September 15, 1998.

⁷ United States Postal Service, Project Detail Information Project Number F50997, "Historical Renovation," completion date July 7, 2000.

REVIEW OF LOBBY SCOPE OF WORK

The lobby rehabilitation would continue to utilize a portion of the space as a reception lobby for the creative office and the remaining area would be utilized as a commissary, lounge area and assembly space for employees. Major components of the lobby rehabilitation would include removal of non-historic alterations and additions, restoration of the original configuration and limited elements of the original design, repair and treatment of historic materials such as the terrazzo flooring and wood board cladding, and construction of a new wood and glass partition wall to separate the reception lobby and commissary spaces. Specific project components are described in greater detail within this section grouped by general location and include: walls, ceiling, floor, exterior windows and doors, new partition walls, reception desk, historic lobby tables, and systems (including mechanical, electrical and fire protection).

The overall approach to the building is one of rehabilitation, to return the property to a state of utility. The lobby scope of work includes a restoration approach to return the configuration, materials, and finishes to their original appearance, while also accommodating contemporary uses, access to adjacent spaces, and providing new elements that are compatible and do not detract from historic character. Treatments within the lobby would use the gentlest possible means to retain historic materials and patina while avoiding damage to the extent feasible.

Selective Demolition and Restoration of Original Configuration

As previously outlined, numerous alterations have been made to the lobby since its original construction. The lobby scope of work would remove non-historic alterations including the postal box alcoves added in the northern portion, the glass and wood partition wall and door at the approximate center of the space, and various wall mounted, non-historic sconces, speakers, electrical outlets, etc. The north wall and ceiling, moved to its current location at some point after 1974, would be relocated and reconstructed in its original location, re-establishing an office to the north, and restoring the original configuration and spatial relationships.

Walls

Proposed work on the walls includes treatment of historic wood cladding, new limestone wainscot in place of non-historic marble, and reconstruction of new individual service windows on the north and west interior walls.

Wood Cladding

Lobby walls and ceilings are clad in wood boards with molded and V-joints and beveled wood trim. An architectural conservator was engaged to examine the condition of interior materials and finishes and to recommend treatments. The wood cladding was identified as sugar pine (a type of white pine), and examination of current conditions found that accumulated layers of three to four clear coatings had discolored over time. In addition, signs of crazing and separation between underlying coating layers was observed.

The wood in the lobby was originally coated in clear shellac and the trim had a reddish-brown stain covered by the same clear coating. In accordance with the conservator's recommendations, the proposed treatment of the historic wood cladding would include removal of coating build-up using a chemical application, cleaning of wood, and application of a new clear coating. An oil based stain, matched to the color of the trim, would be used as necessary. Testing and field trials of removal, cleaning and coating treatments are underway to identify the gentlest effective method (Image 28).

Alterations through the years have left holes and other signs of damage to the wood boards. Following removal of non-historic alterations, holes would be patched or wood boards would be

replaced in-kind, as necessary. During removal of non-historic alterations and additions, usable wood would be salvaged for repairs.

Wainscot

A marble wainscot, made of a salmon color polished stone with a variegated pattern, lines lobby walls below the wood board cladding. Historically, the lobby's wainscot was made of four-inch square ceramic tile, which was replaced by the existing marble in the late 1990s (Image 6). A tile believed to be from the original wainscot was found in the janitor's closet in the southern portion and was examined by the architectural conservator. The tile was beige in color and material was identified as terra cotta.

As part of the project, the non-historic embellished marble would be removed and replaced with new natural limestone in a neutral grey color with a honed finish. The simple, natural appearance of the limestone wainscot would be more consistent with the appearance of the original tile, especially when compared to the contemporary colorful, figured marble. Dimensional pieces of the new stone wainscot would replicate the original beveled chair rail detail not currently expressed by the existing marble wainscot (Images 3-4). A five-inch polished limestone base separated by a reveal would line the bottom of the wainscot. This feature is designed to match existing tile base found at the janitor's closet door surround (Images 17-18), and is proposed to facilitate maintenance and prevent discoloration and damage to the porous honed limestone wainscot.

West Interior Wall

The west wall has been extensively altered since construction. Originally the west wall was lined with small individual service windows, mail drops, and postal boxes. Individual service windows in the southern portion were removed creating long service counters between pilasters (Image 13). In the northern portion of the lobby, additional service windows and original postal boxes were removed and replaced with four projecting alcoves to accommodate supplementary postal boxes. All postal boxes were removed by the postal service in 2013.

As part of the work, fenestration along the west wall would be reestablished with an interpretation of the original individual service windows. The new fenestration would generally, though not exactly, follow the historic sizes and pattern based on original drawings and early photographs (Image 4). The new windows would be comprised of clear glass interpreting the original service openings with signage panels above and painted surrounds and sills. Original window surrounds were constructed of wood and painted in a light color to match the tile wainscot; however, the reconstructed west interior wall would serve as fire separation between the lobby and office beyond, so reconstructed window surrounds would be framed in steel and painted grey to match the new limestone wainscot. Gold leaf lettering would be restored on the signage panels above each service window based on original drawings to read: Parcel Post, Stamps, General Delivery, Information, and Registry. In addition to the service windows, two sets of contemporary glazed and maple wood double doors would be constructed on the west wall to access the office beyond. New additions within the lobby, such as the contemporary double doors and partition wall, would be constructed in maple, differentiating the new doors and millwork from the original sugar pine walls. Numerous small surface mounted additions that have been installed along the west wall, including junction boxes and various patches, would be removed and patched.

East Interior Wall

The east wall is generally intact. Numerous small surface mounted additions have been installed along the east wall including sconce light fixtures on the pilasters, exit signs, emergency lights, speakers, security cameras, other repairs surrounding entrances where vestibules were removed.

The proposed work would remove surface mounted additions and patch and repair walls as necessary. Though deteriorated, a few bulletin boards maintain original signage with gold leaf

lettering above. They read "Bulletin," "United States Civil Service Commission," and ghost letters read "Directory." Following removal of the discolored and crazing coatings on the walls, gold leaf lettering would be restored based on original drawings and current conditions.

North Interior Wall

The north wall originally contained four small individual service windows, similar to those found on the west wall. The wall was first altered in 1971 when individual service windows were replaced with a large opening for postal boxes and again when the north wall and ceiling were moved to make room for additional postal box alcoves, eliminating the office to the north (Image 29). It appears that the original north wall and ceiling cladding was reused in its current location.

The work would return the north wall and ceiling to its historic location and reconstruct the four individual service windows based on original drawings. A Streamline inspired wood grill at the upper wall is currently blind and would be open in the reconstructed wall, connected to ductwork as part of the new mechanical system serving the lobby.

South Interior Wall

The south wall has a recess that originally contained three doors, two of which remain. One accesses a janitor closet and another provided access to offices, and now provides access to the work room. At some point (likely in the 1990s), the offices south of the lobby were reconfigured as additional retail space and the third office door and wall were replaced with a counter covered by a metal roll up door. Adjacent to the south wall recess is a terrazzo-clad staircase that accesses the basement. A simple stainless steel railing surrounding the stair was replaced during a 1990s renovation with the current decorative railing which closely matches the historic exterior railings. An original stainless steel handrail curves around the interior stair wall (Image 12). A wall sconce on the south wall above the stair was replaced with a contemporary sconce at unknown date.

The work would remove the large opening and counter at the south wall recess and infill the opening with a new wood frame and glazed double door, which would access a pantry off the commissary. The space within the janitor's closet would be utilized by the pantry behind; however, the original wood door would be fixed in place. Marble wainscoting at the stair would be removed and replaced with limestone, and the original handrail would be reinstalled in the same location.

Ceiling

Proposed work on the ceiling would include repair and treatment of historic wood cladding, relamping and restoration of historic pendant light fixtures, and replacement of non-historic recessed can light fixtures.

The wood at the ceiling would be treated in the same way as the walls. The ceiling currently displays damage, including discoloration and mounting holes, from past ceiling mounted four-foot square light fixtures added in 1964 and since removed. Additions to ceiling above expanded northern portion would be removed and ceiling would be reconstructed in the original location using historic material to the extent feasible.

Historic Light Fixtures

Six large stainless steel hanging pendant light fixtures with a zigzag detail line the lobby ceiling (Image 11). White opal glass covers have been replaced with etched translucent glass covers and, incandescent bulbs have been replaced with fluorescent tube lamps. Three fixtures at northern portion have been truncated to accommodate the postal box alcoves.

Scope of work would include relamping with a new LED system, and replacement of any etched glass with flashed opal glass to mask LED lamps. In addition, the truncated fixtures would be

restored to their original length. Two fixtures which cannot be accommodated where new partition walls are proposed would be installed in the office north of the lobby and pantry south of the lobby.

Non-Historic Light Fixtures

Recessed down lights, five inches in diameter, were mounted at the wood clad ceiling, often cutting through multiple wood boards for each fixture (Image 22). Due to the complexity of repairing each cut, a new infill fixture is proposed that would fit within the existing holes. The new fixture would be five inches in diameter with a bronze trim to blend in with the surrounding wood.

Flooring

Lobby floors are terrazzo with a rectilinear pattern of gray and salmon color terrazzo rectangles divided by zinc strips. The gray terrazzo is found in the center and accent borders of salmon color terrazzo outline the lobby edges and divide interior bays. The architectural conservator sampled and tested historic terrazzo and identified dirt accumulation beneath previous clear coatings present on the surface. Previous patches are visible at the former location of entry vestibules and throughout. The patches, which differ drastically in color do not blend with nor match the surrounding historic terrazzo (Image 25).

In accordance with the architectural conservator's recommendations, proposed treatment would include removal of existing coatings and cleaning of terrazzo, replacement of existing patches to better match, and application of a new protective clear coating. Additional patches would be required where non-historic alterations would be removed (such as at the existing partition wall and added counter), where historic lobby tables are currently bolted through the floor, and where existing and new partition walls are located. Testing and field trials of removal, cleaning and coating treatments are underway.

Exterior Windows & Doors

New wood sash windows and doors with transoms are proposed to replace existing replacements along the east wall. Exterior door and windows were previously approved by the Landmarks Commission as part of the September 12, 2016 Certificate of Appropriateness application.

New Partition Walls

The existing wood and glass partition wall with a sliding aluminum door and glazed clerestory was added to separate the northern portion from the southern portion of the lobby in 1971. A metal channel for the sliding door was cut into the terrazzo floor border at an interior bay (Image 27). The scope of work would include removal of the existing wall and doorway, and surrounding historic materials would be patched and repaired as necessary.

A new wood and glass partition wall would align with the pilasters directly south of the northern entrance to divide the reception lobby from the commissary space. A secondary free standing partition wall would further divide the commissary space in order to maintain symmetry and provide storage. The millwork partitions would be clad in maple to differentiate the new additions from the historic sugar pine clad walls; however, the use of maple is compatible within the space as it draws inspiration from the maple historic lobby tables.

The new partition wall would be constructed of glass supported by a central, millwork component that would contain an egress door from the commissary space to the reception lobby. Large, clear laminated low iron glass panels would span the voids on the sides and above the millwork to maintain visibility of the ceiling and between the two spaces. The millwork would conceal structural framing for the wall and would be tied through the floor below as required for support. A metal channel would be added in the terrazzo floor border at an interior bay to support the glass and provide a seamless transition. Wood would be removed and reinstalled at the east and west wall pilasters and at the ceiling to allow for additional required support for the glass. Stainless steel

mullion would separate each glass panel within and above the millwork for support. The extensive use of glass maintains the spatial relationships and feeling that the lobby is one long rectilinear space.

An additional freestanding partition wall, designed to match the millwork of the other wall, would be installed within the commissary and would align with pilasters directly north of southern entrance. The wall would not contain glass or a door, and would allow free movement on all sides within the commissary space.

Historic Lobby Tables

Five original tall maple tables with stainless steel feet and composite tops line the east wall and are bolted through the floor below. One table has been shortened. As part of the proposed work, the five tables would be unbolted and become movable furniture pieces within the commissary. The current composite material topping would be replaced with glass, as it was historically.

New Reception Desk

A new desk would be constructed at a fixed location in the reception lobby. The desk would be clad in maple wood and limestone.

Systems

Mechanical

New mechanical systems are planned as part of the larger rehabilitation project. The new systems would be concealed and not damage historic material. Mechanical equipment serving the lobby would utilize modified, existing false vents on the north and south walls, and new floor diffusers would be installed along the east wall. The Streamline inspired wood grills would be modified to allow for return air to feed through hidden ductwork in the adjacent party and office. Supply air would feed through bronze floor diffusers centered on the salmon color terrazzo border, flush with the finished floor level.

Electrical

All junction boxes containing outlets and switches would be removed and holes and wood patched using a Dutchman method. New electrical outlets would be installed at the base of pilasters along the east and west walls. Additional outlets would be mounted flush to the terrazzo floor.

Fire and Life Safety

As part of the work, new fire protection equipment would be installed in the lobby per code requirements. Concealed side wall, extended coverage fire sprinklers would be installed two per bay along the west wall just below the ceiling. The sprinkler head covers would be bronze. Required speakers, strobes and pull stations would be installed along the east wall, centered on pilasters to the extent feasible. Exit signs would be centered and mounted above each of the two exit doors. All new fire life safety devices would be bronze (preferred) or red to minimize their visual impact against the wood clad walls.

Protection

Two options for providing protection for the lobby during construction are under consideration. Both options provide a vapor barrier above a temporary plywood or metal deck above the ceiling framing. The first option would provide all-weather polyethylene sheeting over the lobby and shoring to provide protection from the elements without a temporary support structure. The second option would additionally provide a custom plywood truss to support the sheeting.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The *Secretary's Standards* include four treatments; while a restoration approach is utilized for some elements of the proposed scope of work, the appropriate, overarching treatment is rehabilitation, which is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."⁸

There are ten rehabilitation standards as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The *Secretary's Standards* are not intended to be prescriptive, but instead provide general guidance. They are intended to be flexible and adaptable to specific project conditions to balance continuity and change while retaining historic building fabric to the maximum extent feasible. Their interpretation requires exercise of professional judgment and balance of the various opportunities and constraints of any given project based on use, materials retention and treatment, and compatibility of new construction. Not every standard necessarily applies to every aspect of a project, nor is it necessary to comply with every standard to achieve conformance.

⁸ Kay D. Weeks and Anne E. Grimmer, *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*, U.S. Department of Interior (National Park Service, 1995), 112-113.

EVALUATION OF PROPOSED SCOPE OF WORK

As is further explained below, the proposed lobby rehabilitation conforms with the *Secretary's Standards* and, accordingly, requirements of the Preservation Covenant and Landmarks Ordinance.

- In conformance with Standard 1, a portion of the lobby would continue to be used as a reception lobby and the remaining portion would be used as a commissary for the building's employees, requiring minimal change and adaptation for compatible uses. The proposed work preserves distinctive character-defining features and removes non-historic alterations which would re-establish historic configuration and spatial relationships.
- In conformance with Standard 2, the character-defining features within the lobby would be preserved and rehabilitated. Modifications would primarily include removal of non-historic alterations such as the existing partition wall, postal box alcoves, and miscellaneous surface mounted additions throughout the space. New partition walls would be visually light, with extensive use of low iron glass in order to maintain the spatial relationship of the rectilinear space.
- In conformance with Standard 3, the proposed work would retain important historic fabric so that the property could continue to be recognized as a physical record of its time, specifically as a PWA Moderne post office. Repairs, restored and reconstructed elements would be designed based on documentary evidence such as the original drawings and early photographs. No conjectural features or elements would be added.
- In conformance with Standard 4, changes that have acquired historic significance in their own right will be retained and preserved. Numerous alterations have occurred within the lobby since construction, however, no later additions or alterations have been identified as taking on historic significance over time; thus, removal of inappropriate non-historic alterations would not impact historic character of the lobby.
- In conformance with Standard 5, the proposed work would retain existing historic materials, features, and finishes to the maximum extent feasible. All of the character-defining features would be preserved. The historic materials, including the wood board cladding on the walls and ceilings, and terrazzo flooring would be treated and restored to their original condition, removing years of discoloration and damage.
- In conformance with Standard 6, the proposed work would retain existing historic features, repairing rather than replacing them, to the maximum extent feasible. Where deterioration requires replacement, the new will match the old in color, texture, and where possible, materials. During removal of non-historic additions and alterations, care will be taken to salvage existing materials to be used for repairs. Replacement of missing features will be substantiated by documentary and physical evidence. For instance, design of the reconstructed individual service windows, restoration of gold leaf lettering above bulletin boards, and repairs to historic light fixtures will all be done based on documentary evidence.
- In conformance with Standard 7, the proposed work would treat historic material with the gentlest means possible. Proposed treatments, including coating removals on wood and terrazzo, would be tested to identify the gentlest effective method to not cause damage to the underlying materials.
- In conformance with Standard 8, the proposed scope of work does not include below grade construction, hence, it is not expected that archaeological resources would be found during implementation of the proposed work.
- In conformance with Standard 9, alterations and new construction within the space would not destroy historic materials, features, and spatial relationships that characterize the space. The rehabilitation primarily is focused on removal of non-historic alterations; however, proposed work including the new wainscot and partition walls, would be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the space. The new added partition walls would be distinct from the existing in terms of material

selection, finish and appearance, though would draw inspiration from historic materials and detailing.

- In conformance with Standard 10, if new additions within the space, such as the new added partition walls, were to be removed in the future, the essential form and integrity of the lobby would be unimpaired.

CONCLUSION

The proposed lobby rehabilitation, as described, is in conformance with the *Secretary's Standards*. A portion of the lobby would continue to be used as a reception lobby and the remaining portion would be used as a commissary for creative office. The proposed rehabilitation, with elements of restoration, would return the configuration, materials, and finishes to their original appearance, while also accommodating the reuse. New additions within the space would be contemporary yet compatible and preserve the spatial relationships and character-defining features. Overall, the scope of work maintains the integrity and enhances the historic character of the lobby in accordance with the Preservation Covenant and Landmarks Ordinance.

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United States Postal Service, Project Detail Information Project Number F08429, "Refurbish Lobby," completion date May 20, 1996.

United States Postal Service, Project Detail Information Project Number F43372, "Interior Renovation," completion date September 15, 1998.

United States Postal Service, Project Detail Information Project Number F50997, "Historical Renovation," completion date July 7, 2000.

Attachment 1
Historic Photographs

SANTA MONICA POST OFFICE
ATTACHMENT 1: HISTORIC PHOTOGRAPHS

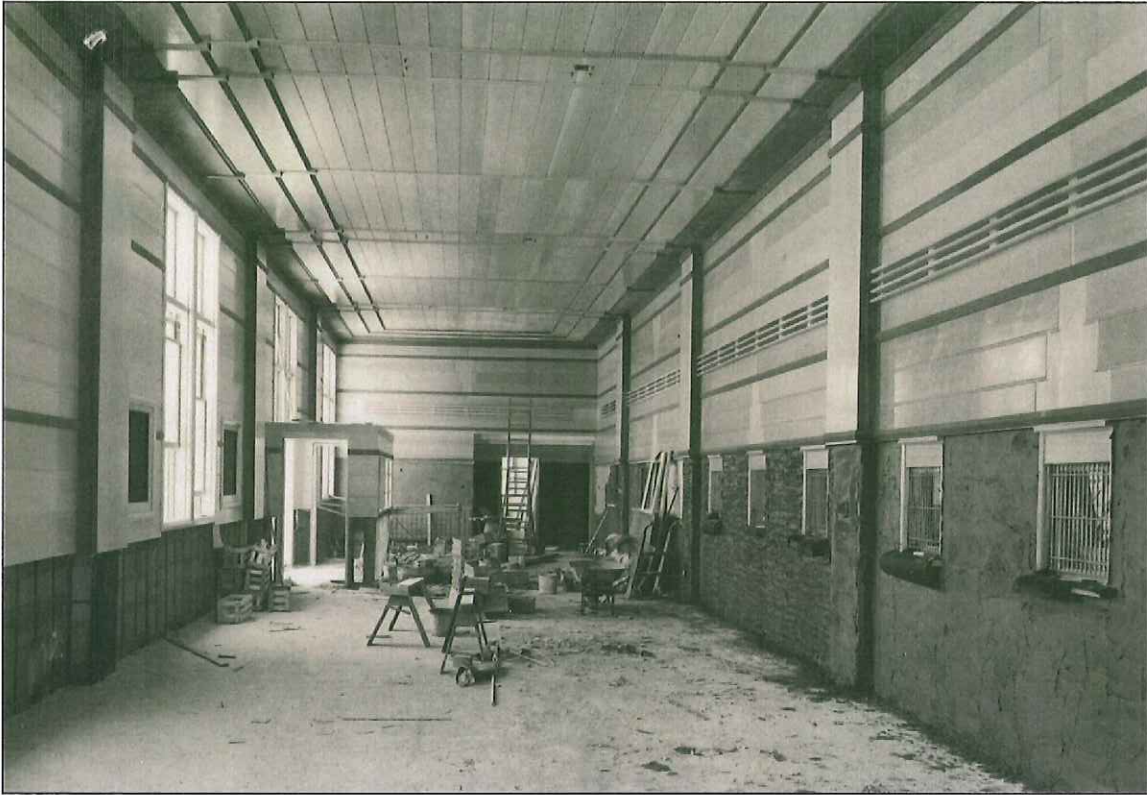


Image 1: Lobby under construction, looking south, 1937 (Santa Monica History Museum)



Image 2: Area behind lobby service desks under construction, skylights and lookout gallery above, looking southeast, 1937 (Santa Monica History Museum)

SANTA MONICA POST OFFICE
ATTACHMENT 1: HISTORIC PHOTOGRAPHS



Image 3: Lobby with holiday decorations, looking south, 1949 (Santa Monica History Museum, Beebe Collection)

SANTA MONICA POST OFFICE
ATTACHMENT 1: HISTORIC PHOTOGRAPHS



Image 4: Girl Scouts receiving commemorative stamps in lobby, 1948 (Santa Monica History Museum, Beebe Collection)



Image 5: Stamp machine and patrons in lobby, 1949 (Santa Monica History Museum, Beebe Collection)

SANTA MONICA POST OFFICE
ATTACHMENT 1: HISTORIC PHOTOGRAPHS



Image 6: Southern portion of lobby before renovation, looking south, circa 1990s (Rachlin Partners)

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Attachment 2
Contemporary Photographs

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS



Image 7: Southern portion of lobby, looking south, Historic American Building Survey (HABS) digital field photographs (Schafer, 2016)

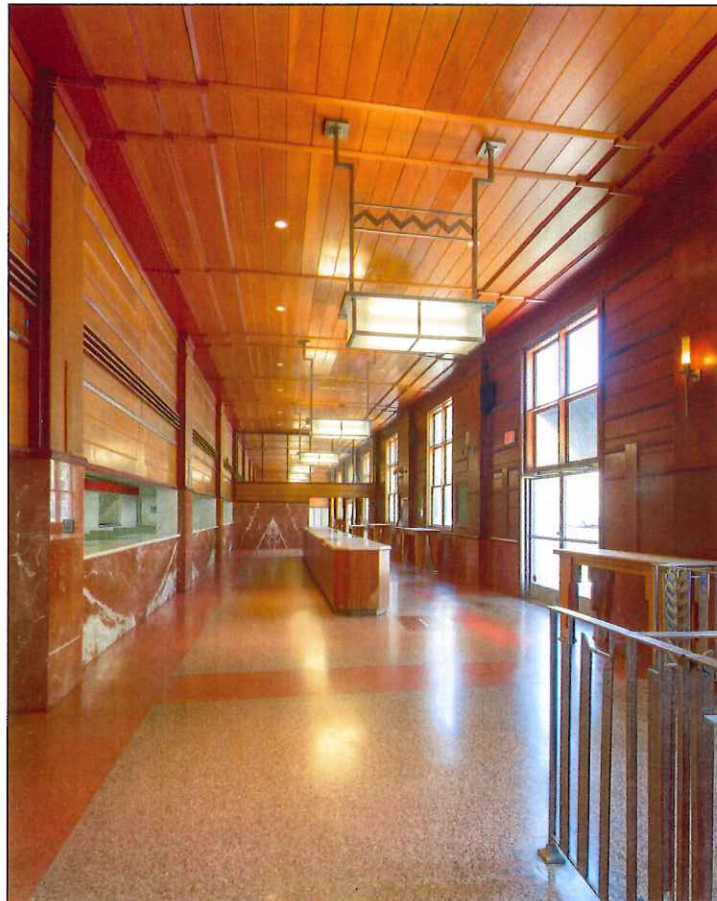


Image 8: Southern portion of lobby, looking north (Schafer, 2016)

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS

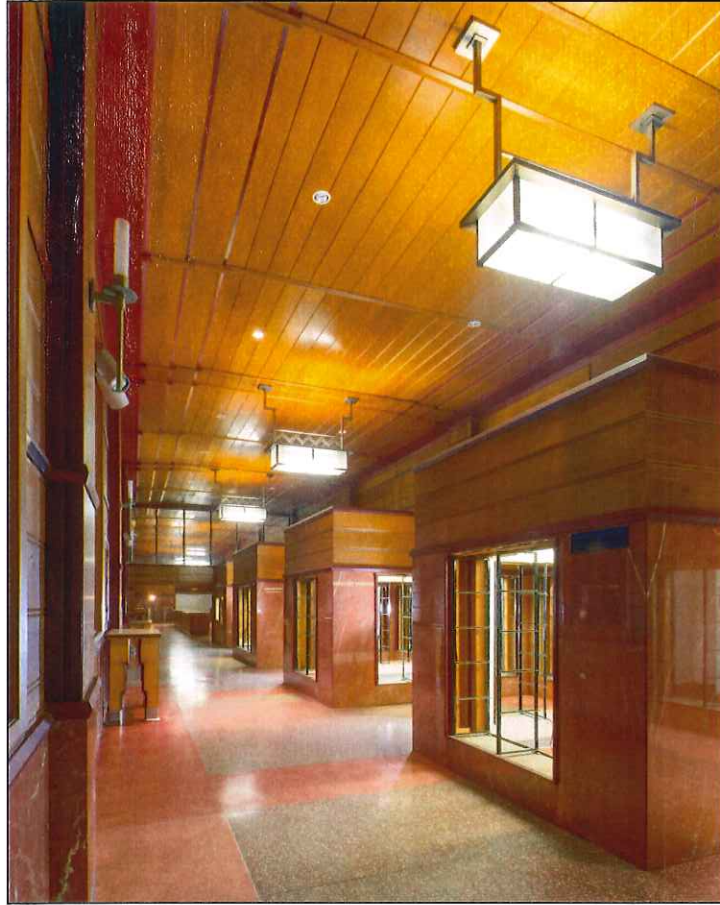


Image 9: Northern portion of lobby, looking south (Schafer, 2016)



Image 10: Northern portion of lobby, looking north, added projecting postal box alcoves and altered north wall and truncated historic light fixture visible (Chattel, 2014)



Image 11: Original stainless steel light fixture (Schafer, 2016)

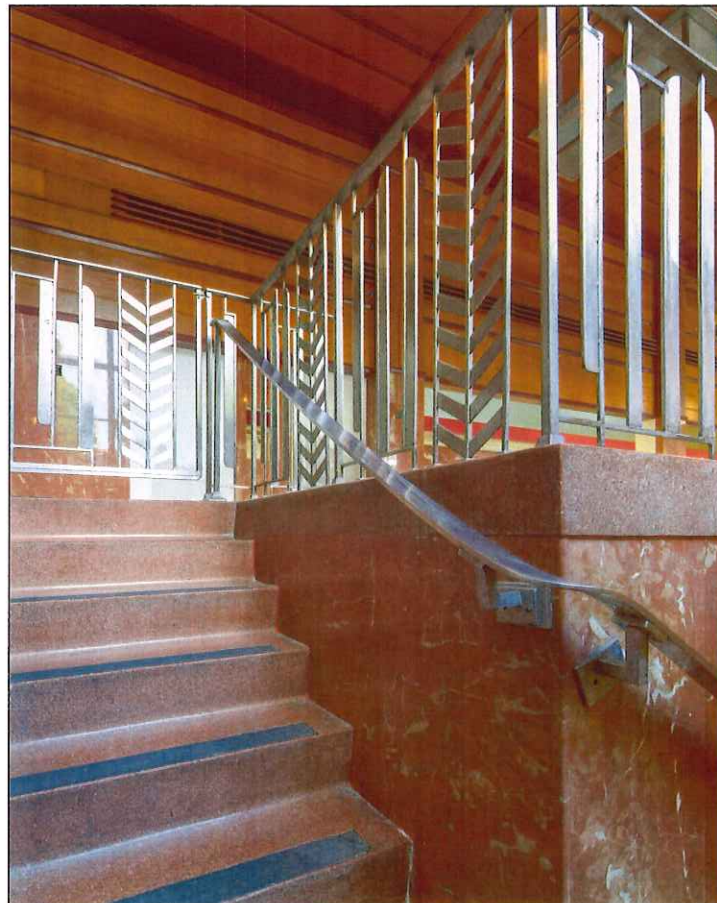


Image 12: Basement stairs, looking up to lobby (Schafer, 2016)

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS



Image 13: Southern portion of lobby, detail of open service counter bay with Streamline inspired vents above (Schafer, 2016)

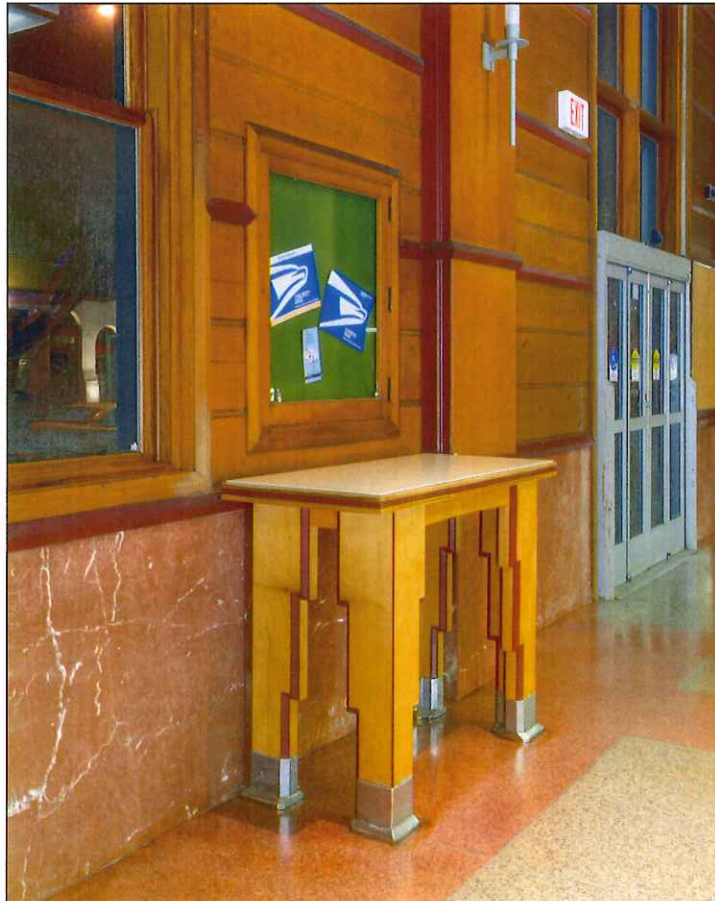


Image 14: Detail of lobby table and bulletin board with gold leaf lettering above (Schafer, 2016)

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS



Image 15: South wall recess with door to janitor's closet, south wall opening and basement stair (Chattel, 2016)



Image 16: Janitor's closet in lobby (Schafer, 2016)



Image 17: Non-historic partition wall separating lobby into southern and northern portions (Chattel, 2014)

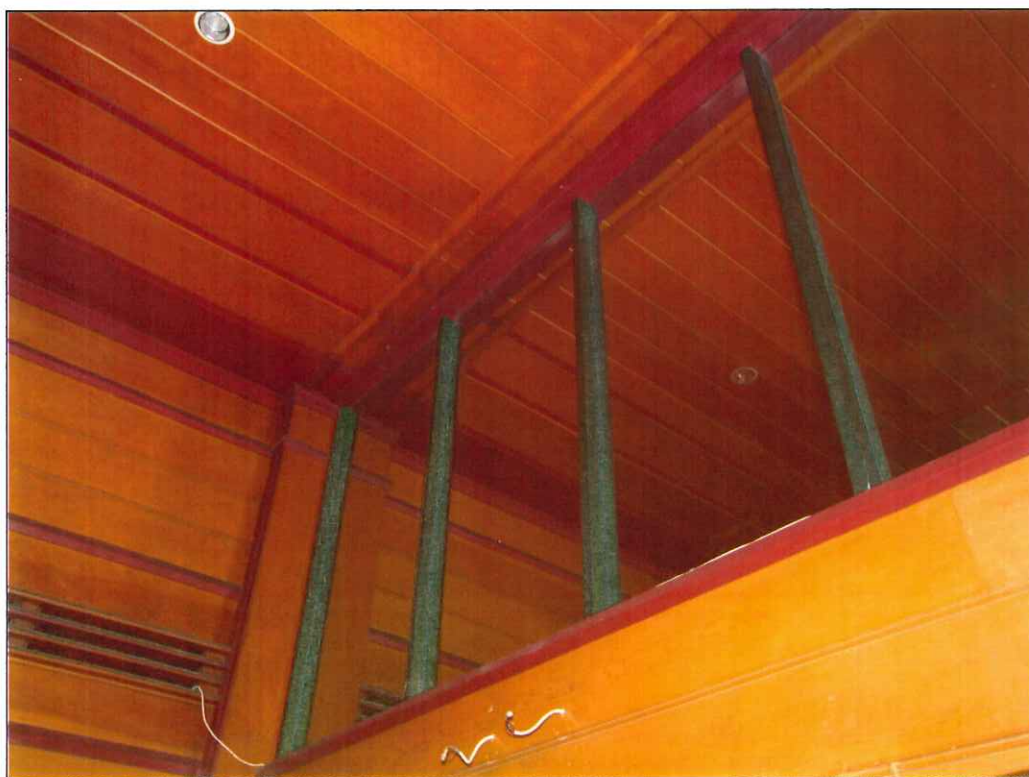


Image 18: Detail where partition wall meets ceiling and pilaster (Chattel, 2016)

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS



Image 19: Existing wall conditions - Wood patch added where entry vestibule removed from south entrance (Chattel, 2016)



Image 20: Existing wall conditions - Wood patch added where flange signs removed on west wall pilaster (Waisler, 2016)



Image 21: Existing wall conditions - Surface mounted additions on east wall (Chattel, 2014)

SANTA MONICA POST OFFICE
ATTACHMENT 2: CONTEMPORARY PHOTOGRAPHS



Image 22: Existing ceiling conditions - Recessed 5 inch can lights that cut through wood boards and trim. Holes visible from past ceiling mounted light fixtures (Waisler, 2016)



Image 23: Existing ceiling conditions - Staining from past ceiling mounted light fixtures (Waisler, 2016)



Image 24: Existing ceiling conditions - Added boards where north lobby wall moved and truncated historic light fixture (Waisler, 2016)



Image 25: Existing floor conditions - Incompatible terrazzo patch (Waisler, 2016)

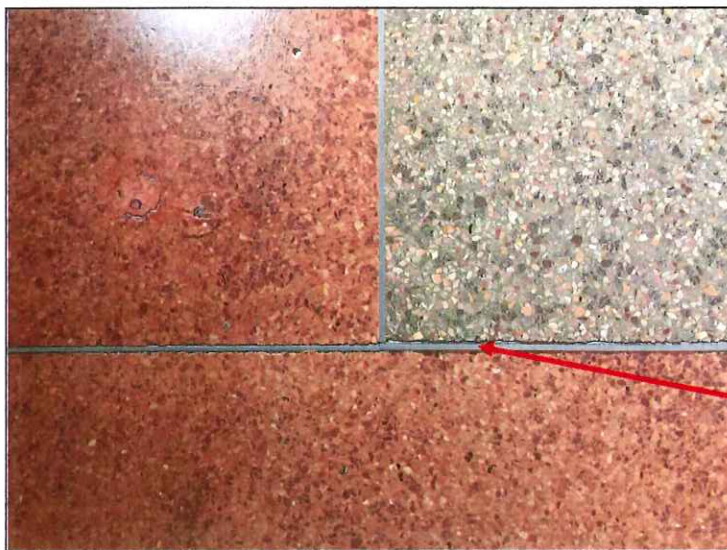


Image 26: Existing floor conditions - Terrazzo damage and movement surrounding zinc strip (Waisler, 2016)



Image 27: Existing floor conditions - Channel through terrazzo border at existing dividing wall (Waisler, 2016)



Image 28: Test samples of coating removal treatments showing exposed sugar pine wood cladding following removal of existing discolored clear coatings (Biddle, 2016)



Image 29: View of lobby flooring from inside workroom, looking east. Image shows original location of lobby north wall (where salmon color terrazzo flooring is visible) and north office (where end grain wood block flooring is visible) (Schafer, 2016)

Attachment 3
Preservation Covenant

Exhibit B
to Agreement of Purchase & Sale

PRESERVATION COVENANT

1248 5th Street, Santa Monica, CA

PRESERVATION COVENANT LANGUAGE

In consideration of the conveyance of certain real property, located at 1248 5th Street in the City of Santa Monica, the County of Los Angeles, State of California.

- (1) The grantee hereby covenants on behalf of itself, its heirs, successors and assigns at all times to restore, maintain and preserve this property in accordance with the recommended approaches of the "Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings" (National Park Service, 1995) in order to preserve those qualities that resulted in this property being eligible for listing on the National Register of Historic Places. Grantee further agrees to comply with all local laws and regulations governing the use of property, including, but not limited to, the requirements of the City of Santa Monica with respect to designated historical resources as set forth in the Landmark and Historic District Ordinance of the City of Santa Monica, Santa Monica Municipal Code, Chapter 9.36 (the "Landmark Ordinance"). Nothing contained herein shall in any way impair or limit the authority of the City, its City Council, boards and commissions, officers, agents and employees to exercise the City's police powers, including, but not limited to, the implementation of the City's Landmark Ordinance.
- (2) No construction, alteration or rehabilitation shall be undertaken or permitted to be undertaken that would affect the historic features of the property without prior consultation with, and the express permission of the City of Santa Monica ("City"), which consultation and permission shall be conferred through the process established in the Landmark Ordinance, if applicable. The historic features of this property shall include the following:
 - (a) *Interior historic character-defining features of this post office are the original hanging light fixtures, the marble wainscot, horizontal wood wall paneling and ceilings with zigzag motif, metal staircase rails with chevron ornamentation, terrazzo flooring, and the original tall tables used for post office patrons.*
 - (b) *Exterior character-defining features include the overall mass and plan of the main façade of the post office, the scalloped cornice at the roofline, the poured concrete exterior siding, the frieze consisting of three-stepped horizontal bands running along the entire building, the Art Deco-style lettering over the central window reading "United States Post Office", the dedication plaque, original wood frame windows, modernistic pilasters along the primary façade slightly above the roofline, pilasters flanking the entrance*

doors, and columns with pilasters capped with extremely stylized Corinthian capitals. The concrete wave and Art Deco motifs over the main entrances, including reliefs of globes set over stylized eagle's wings flanked by grooved vertical bands, granite steps, and the low, ornamental metal fence with a chevron motif are also historic character defining features.

- (3) Authorized representatives of the City shall be permitted at all reasonable times to inspect the property in order to ascertain if the above conditions are being met.
- (4) In the event of a violation of this covenant, and in addition to any remedy now or hereafter provided by law, the City, and any resident of the City of Santa Monica having an interest in the historic features of the property may, following reasonable notice to the current owner of the property, institute an action for specific performance, injunction and/or monetary damages. The action for specific performance may include restoration of the property to its conditions as existing prior to the construction, alteration or restoration undertaken in violation of this covenant. The plaintiff in any action brought pursuant to sections shall be entitled to recover its costs and attorney's fees if it is deemed to be the prevailing party.
- (5) This covenant is binding on the grantee, its heirs, successors and assigns in perpetuity. All stipulations and covenants contained herein shall be inserted by the grantee verbatim or by express reference in any deed or other legal instrument by which the grantee divests itself of any interest in the property or any part thereof.
- (6) The failure of any person or entity permitted by the terms hereof to exercise any right or remedy granted under this instrument shall not have the effect of waiving or limiting the exercise of any other right or remedy or use of such right or remedy at any other time.
- (7) This covenant shall be a binding servitude upon the property and shall be deemed to run with the land. Execution of this covenant shall constitute conclusive evidence that the grantee agrees to be bound by the foregoing conditions and restrictions and to perform to obligations herein set forth.
- (8) The City may, for good cause, and following notice to the public, modify or cancel any or all of the foregoing restrictions upon application of the grantee, its heirs, successors or assigns. The validity, interpretation, effect, and enforcement of this covenant, or any portion thereof, shall be governed by, and shall be construed and enforced in accordance with, the laws of the State of California. All litigation or other proceedings arising out of this covenant to interpret or enforce this covenant, or any portion thereof, or to recover for any breach thereof, shall be filed in the Los Angeles County Superior Court, unless the parties agree in writing to an alternative venue for litigation.
- (9) The unenforceability of any term or provision of this covenant shall not affect the validity of remaining sections or portions of this covenant.

CITY COUNCIL REVIEW OF LOBBY PER PRESERVATION COVENANT



PHOTO CREDIT: SANTA MONICA HISTORY MUSEUM, BEEBE COLLECTION 1949

RESTORATION AND REHABILITATION OF HISTORIC LOBBY

PROTECTED BY PRESERVATION COVENANT

PROJECT ADDRESS:
1248 5TH STREET SANTA MONICA, CA 90401

PROJECT APPLICANT: 1248 5TH STREET LLC

CITY COUNCIL HEARING DATE: MARCH 7, 2017

PROJECT DIRECTORY

CLIENT:
1248 5TH STREET LLC

DESIGNER / OWNER'S REPRESENTATIVE:
11KPS

EMAIL: andy@11kps.com

CLIENT PROJECT MANAGER:
AMA PROJECT MANAGEMENT

CONTACT: ANTONY BIDDLE
TEL: 310-212-6603
EMAIL: ABIDDLE@AMAPM.COM

10880 WILSHIRE BLVD., SUITE 1005
LOS ANGELES, CA 90024

ARCHITECT:
HLW INTERNATIONAL LLP

CONTACT: SEJAL SONANI
TEL: 310-586-6793
EMAIL: ssonani@hlw.com

1556 20TH STREET SUITE B
SANTA MONICA, CA 90404

STRUCTURAL:
STRUCTURAL FOCUS

CONTACT: DAVID COCKE
TEL: 310-323-9113 x16
EMAIL: dcocke@structuralfocus.com

19210 S. VERMONT AVE.
BUILDING B, SUITE 210
GARDENA, CA 90248

MEP:
BURO HAPPOLD CONSULTING ENGINEERS, INC

CONTACT: CHRISTOPHER MCCLEAN
TEL: 310-945-4800
EMAIL: CHRISTOPHER.MCCLEAN@BUROHAPPOLD.COM

800 WILSHIRE BLVD., 16TH FLOOR
LOS ANGELES CA 90017

CIVIL:
INCLEDON CONSULTANT GROUP

CONTACT: MICHAEL INCLEDON
TEL: 818-647-7158
EMAIL: mincledon@icgcivil.com

15300 VENTURA BLVD., SUITE 200
SHERMAN OAKS, CA 91403

LIGHTING:
HLB LIGHTING DESIGN

CONTACT: E. TEAL BROGDEN
TEL: 310-837-0929
EMAIL: TBROGDEN@HLBLIGHTING.COM

8580 W WASHINGTON BLVD,
CULVER CITY, CA 90232

LANDSCAPE:
KSA LANDSCAPE ARCHITECTURE

CONTACT: SHARN STINSON-URE
TEL: 310-574-4460
EMAIL: S.URE@KSA-LA.COM

4212 1/2 GLENCOE AVENUE
MARNIA DFI RFLY CA 90292

CODE CONSULTANT:
SIMPSON GUMPERTZ & HEGER

CONTACT: NATE WITTASEK
TEL: 213-271-1932
EMAIL: NBWITTASEK@SGH.COM

1055 WEST 7TH STREET SUITE #2500
LOS ANGELES, CA 90017

ACOUSTIC CONSULTANT:
NEWSON BROWN

CONTACT: MARTIN NEWSON
TEL: 310-829-6343
EMAIL: MARTIN@NEWSONACOUSTICS.COM

2001 WILSHIRE BLVD., SUITE 301
SANTA MONICA, CA 90403

IT / AV CONSULTANT:
PLAN NET CONSULTING

CONTACT: ERIC RYKE
TEL: 714-982-5800
EMAIL: ERYKE@PLANNET.COM

2951 SATURN STREET, SUITE E
BREA, CA 92821

HISTORIC PRESERVATION CONSULTANTS:
CHATTEL, INC

CONTACT: ROBERT CHATTEL
EMAIL: robert@chattel.US

13417 VENTURA BLVD
SHERMAN OAKS, CA 91423-3938

DRAWING LIST

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PROJECT USE

FUTURE USE: RECEPTION, COMISSARY AND LOUNGE FOR MEDIA PRODUCTION COMPANY
(SANTA MONICA BUSINESS LICENSE NO. 210156)

PROJECT SIZE

EXISTING LOBBY AREA: 2,856 SF
PROPOSED RECEPTION, COMMISSARY AND LOUNGE AREA: 2,564 SF

PROJECT DATA

PRESERVATION COVENANT

1248 5th Street, Santa Monica, CA

PRESERVATION COVENANT LANGUAGE

In consideration of the conveyance of certain real property, located at 1248 5th Street in the City of Santa Monica, the County of Los Angeles, State of California.

- (1) The grantee hereby covenants on behalf of itself, its heirs, successors and assigns at all times to restore, maintain and preserve this property in accordance with the recommended approaches of the "Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings" (National Park Service, 1995) in order to preserve those qualities that resulted in this property being eligible for listing on the National Register of Historic Places. Grantee further agrees to comply with all local laws and regulations governing the use of property, including, but not limited to, the requirements of the City of Santa Monica with respect to designated historical resources as set forth in the Landmark and Historic District Ordinance of the City of Santa Monica, Santa Monica Municipal Code, Chapter 9.36 (the "Landmark Ordinance"). Nothing contained herein shall in any way impair or limit the authority of the City, its City Council, boards and commissions, officers, agents and employees to exercise the City's police powers, including, but not limited to, the implementation of the City's Landmark Ordinance.
- (2) No construction, alteration or rehabilitation shall be undertaken or permitted to be undertaken that would affect the historic features of the property without prior consultation with, and the express permission of the City of Santa Monica ("City"), which consultation and permission shall be conferred through the process established in the Landmark Ordinance, if applicable. The historic features of this property shall include the following:
 - (a) *Interior historic character-defining features of this post office are the original hanging light fixtures, the marble wainscot, horizontal wood wall paneling and ceilings with zigzag motif, metal staircase rails with chevron ornamentation, terrazzo flooring, and the original tall tables used for post office patrons.*
 - (b) *Exterior character-defining features include the overall mass and plan of the main façade of the post office, the scalloped cornice at the roofline, the poured concrete exterior siding, the frieze consisting of three-stepped horizontal bands running along the entire building, the Art Deco-style lettering over the central window reading "United States Post Office", the dedication plaque, original wood frame windows, modernistic pilasters along the primary façade slightly above the roofline, pilasters flanking the entrance*

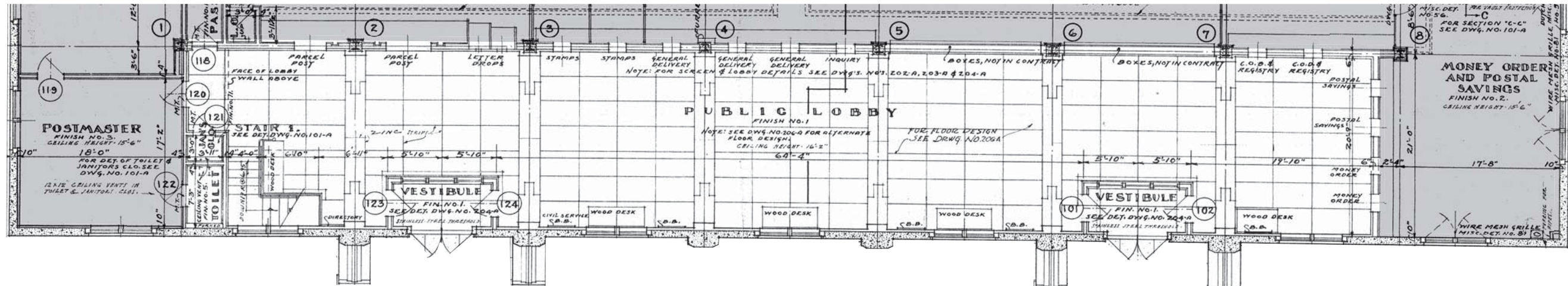
doors, and columns with pilasters capped with extremely stylized Corinthian capitals. The concrete wave and Art Deco motifs over the main entrances, including reliefs of globes set over stylized eagle's wings flanked by grooved vertical bands, granite steps, and the low, ornamental metal fence with a chevron motif are also historic character defining features.

- (3) Authorized representatives of the City shall be permitted at all reasonable times to inspect the property in order to ascertain if the above conditions are being met.
- (4) In the event of a violation of this covenant, and in addition to any remedy now or hereafter provided by law, the City, and any resident of the City of Santa Monica having an interest in the historic features of the property may, following reasonable notice to the current owner of the property, institute an action for specific performance, injunction and/or monetary damages. The action for specific performance may include restoration of the property to its conditions as existing prior to the construction, alteration or restoration undertaken in violation of this covenant. The plaintiff in any action brought pursuant to sections shall be entitled to recover its costs and attorney's fees if it is deemed to be the prevailing party.
- (5) This covenant is binding on the grantee, its heirs, successors and assigns in perpetuity. All stipulations and covenants contained herein shall be inserted by the grantee verbatim or by express reference in any deed or other legal instrument by which the grantee divests itself of any interest in the property or any part thereof.
- (6) The failure of any person or entity permitted by the terms hereof to exercise any right or remedy granted under this instrument shall not have the effect of waiving or limiting the exercise of any other right or remedy or use of such right or remedy at any other time.
- (7) This covenant shall be a binding servitude upon the property and shall be deemed to run with the land. Execution of this covenant shall constitute conclusive evidence that the grantee agrees to be bound by the foregoing conditions and restrictions and to perform to obligations herein set forth.
- (8) The City may, for good cause, and following notice to the public, modify or cancel any or all of the foregoing restrictions upon application of the grantee, its heirs, successors or assigns. The validity, interpretation, effect, and enforcement of this covenant, or any portion thereof, shall be governed by, and shall be construed and enforced in accordance with, the laws of the State of California. All litigation or other proceedings arising out of this covenant to interpret or enforce this covenant, or any portion thereof, or to recover for any breach thereof, shall be filed in the Los Angeles County Superior Court, unless the parties agree in writing to an alternative venue for litigation.
- (9) The unenforceability of any term or provision of this covenant shall not affect the validity of remaining sections or portions of this covenant.

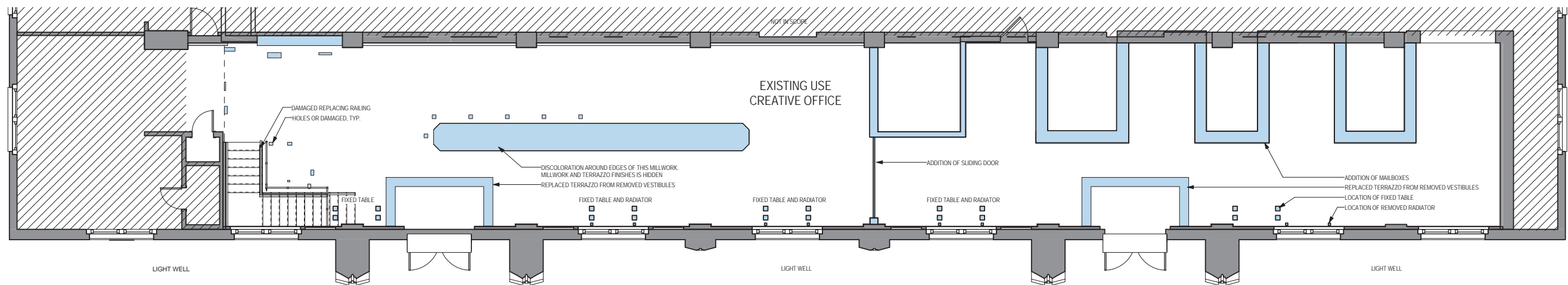


A. Southern portion of lobby with service counters, looking North.
 B. Southern portion of lobby, looking South.
 C. Northern portion of lobby with postal box alcoves, looking South.
 D. Historic lobby table and bulletin board
 E. Terrazzo stairs, curved stainless steel handrail and railing from landing
 F. Detail of Lobby service counter bay

SELECTED HISTORIC AMERICAN BUILDING SURVEY FIELD PHOTOGRAPHS

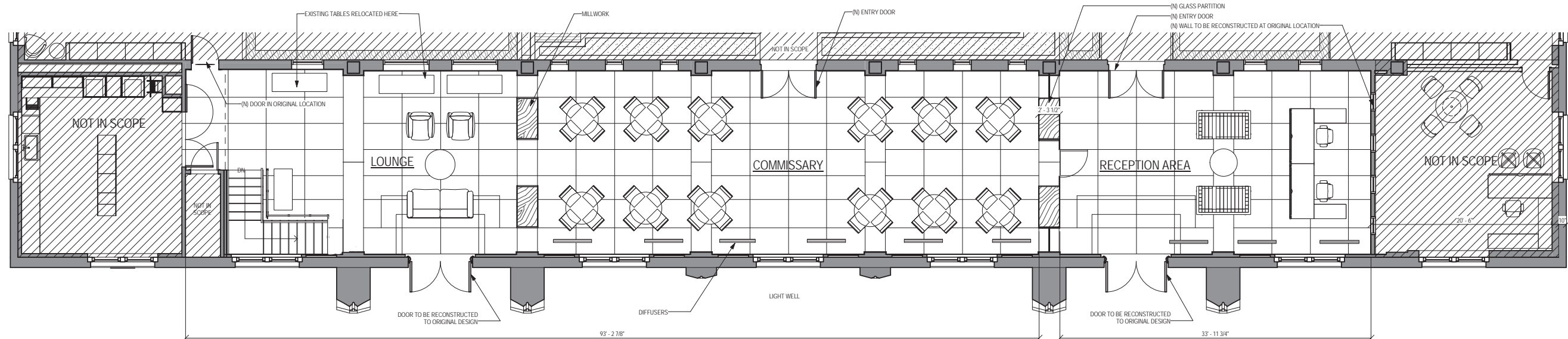


ORIGINAL HISTORIC LOBBY 1937



EXISTING EXPANDED AND ALTERED LOBBY

AREAS ALTERED EXISTING STRUCTURE AREAS NOT IN SCOPE



PROPOSED RESTORED AND REHABILITATED LOBBY

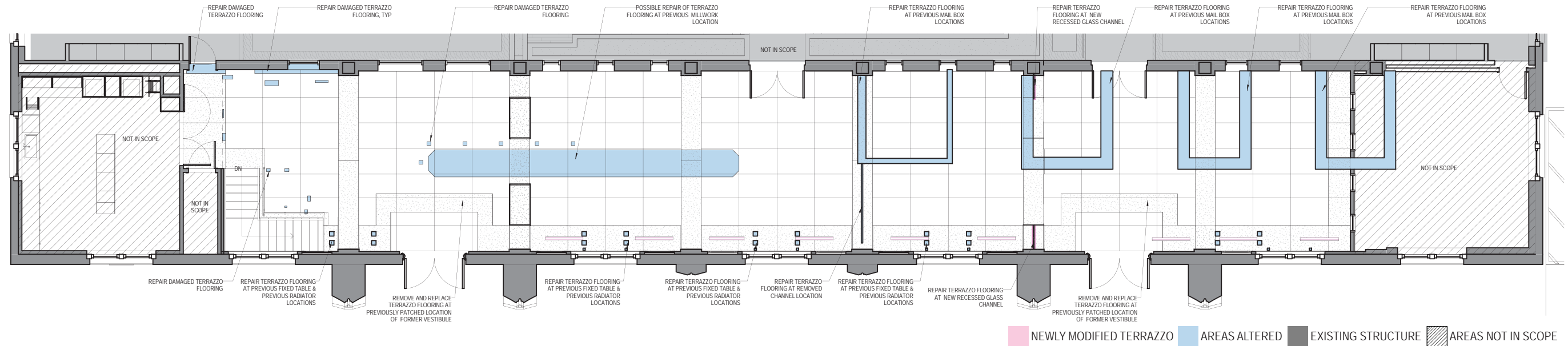
FLOOR PLANS



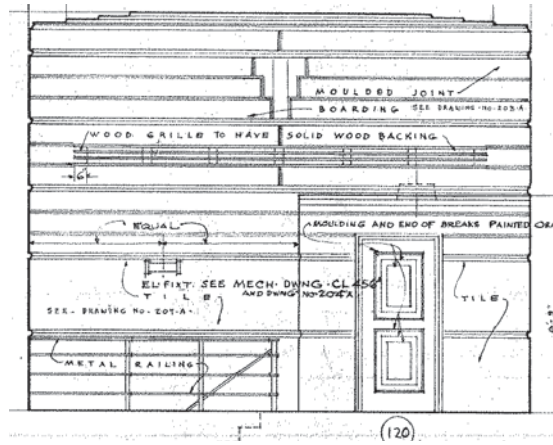
Terrazzo patch at location of former entry vestibule



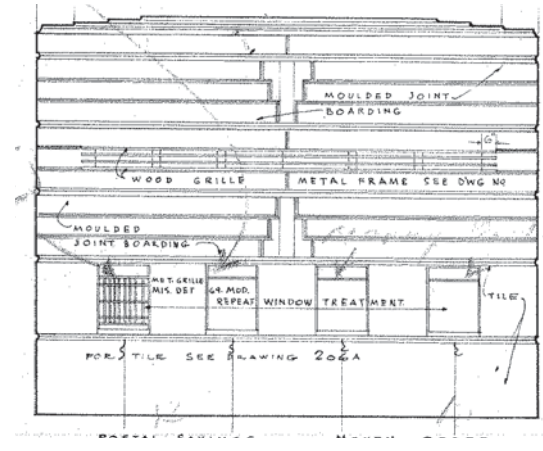
Differing terrazzo colors where lobby has been expanded



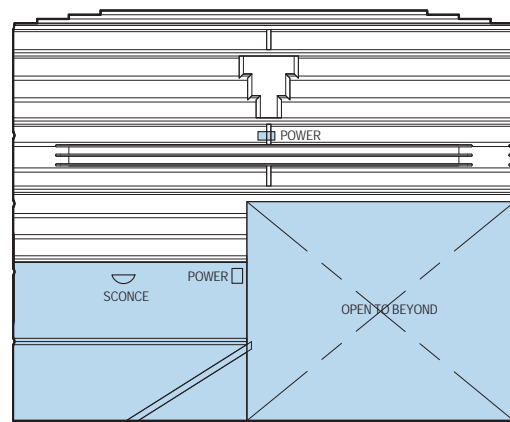
PROPOSED FLOOR FINISH PLAN



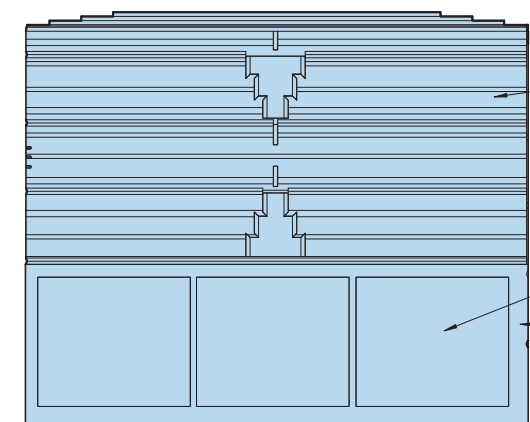
SOUTH INTERIOR ELEVATION
HISTORIC LOBBY ORIGINAL DRAWINGS
(FOR REFERENCE)



NORTH INTERIOR ELEVATION
HISTORIC LOBBY ORIGINAL DRAWINGS
(FOR REFERENCE)

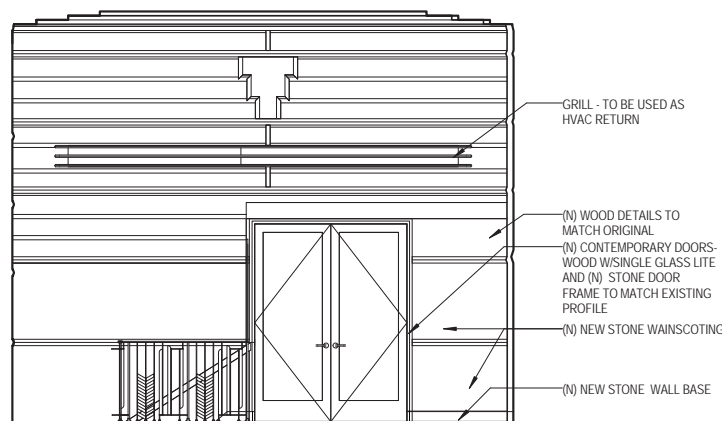


SOUTH INTERIOR ELEVATION -
EXISTING HISTORIC LOBBY

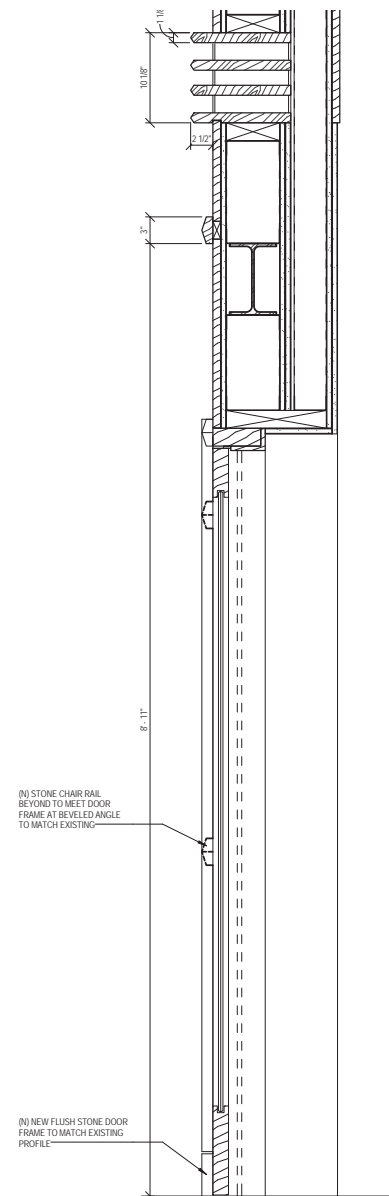


NORTH INTERIOR ELEVATION -
EXISTING HISTORIC LOBBY

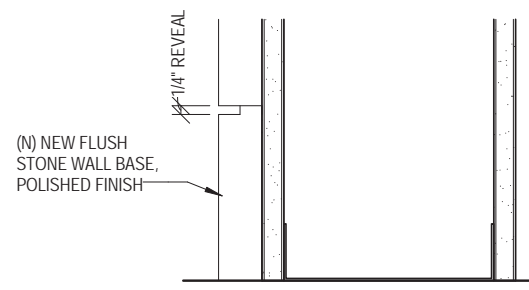
AREAS ALTERED



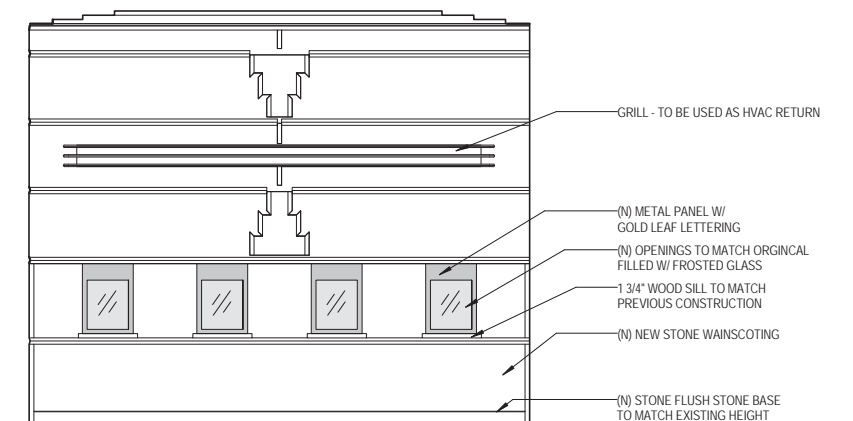
SOUTH INTERIOR ELEVATION -
PROPOSED HISTORIC LOBBY



DETAIL AT CONTEMPORARY
DOORS

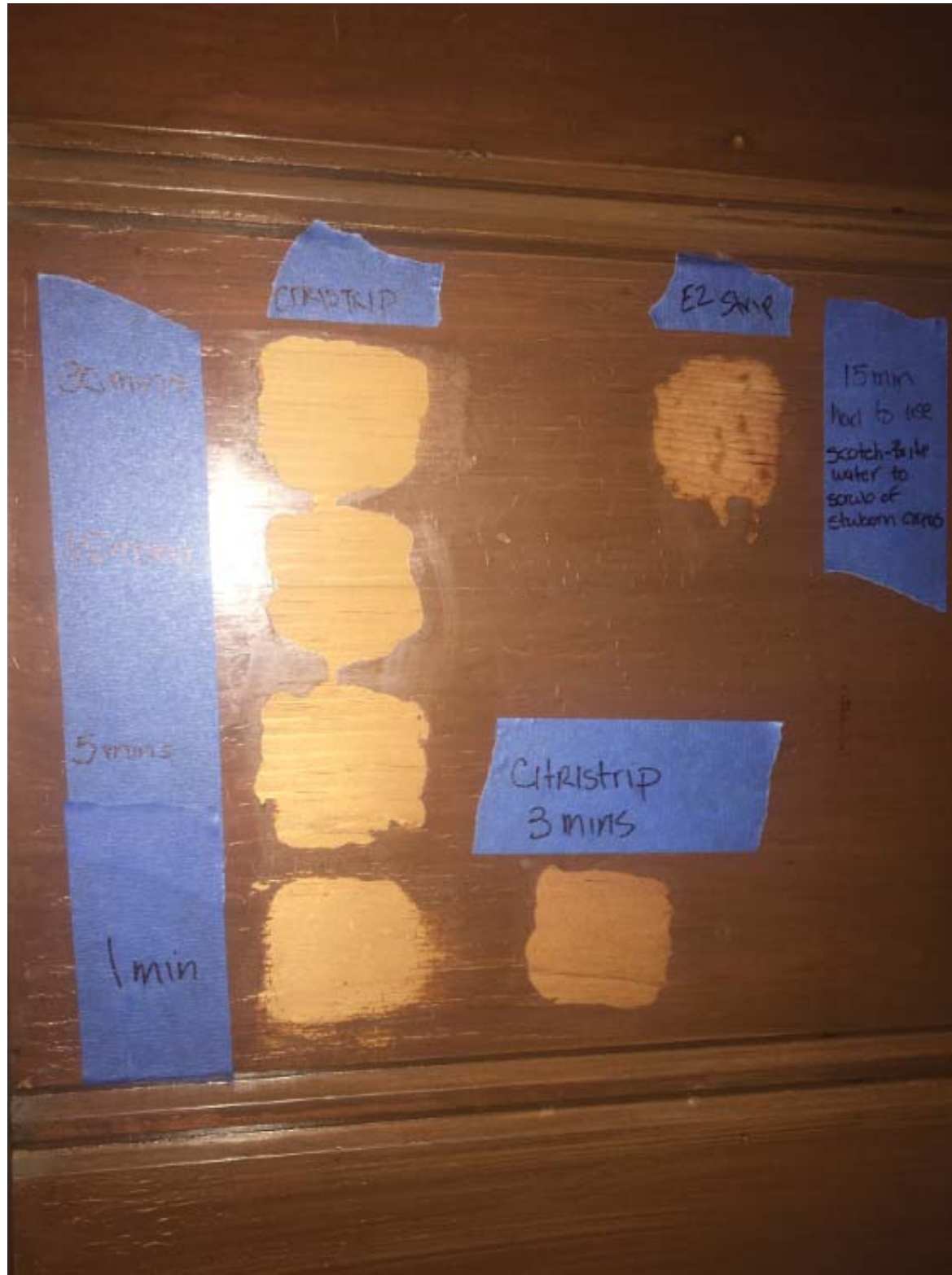


DETAIL AT NEW
STONE WALL BASE



NORTH INTERIOR ELEVATION -
PROPOSED HISTORIC LOBBY

SOUTH AND NORTH INTERIOR ELEVATIONS/DETAILS

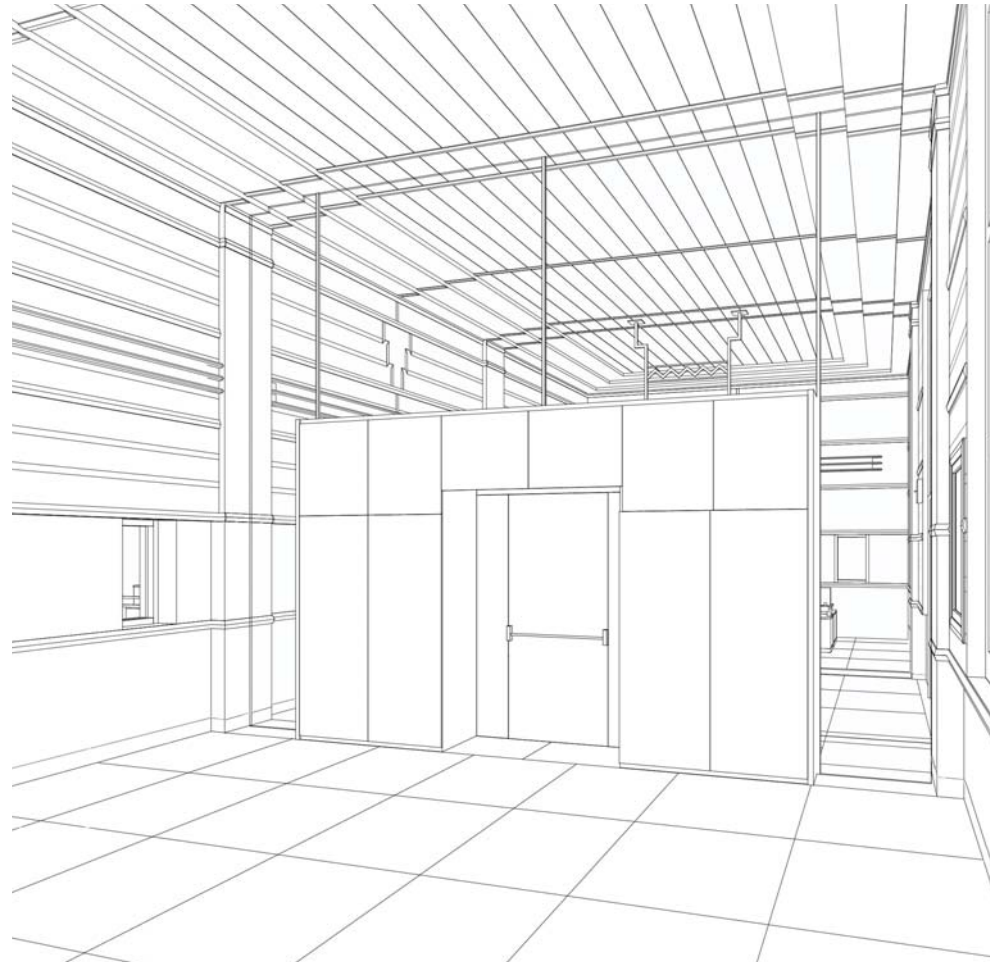


PHOTOGRAPH OF STRIPPED WOOD

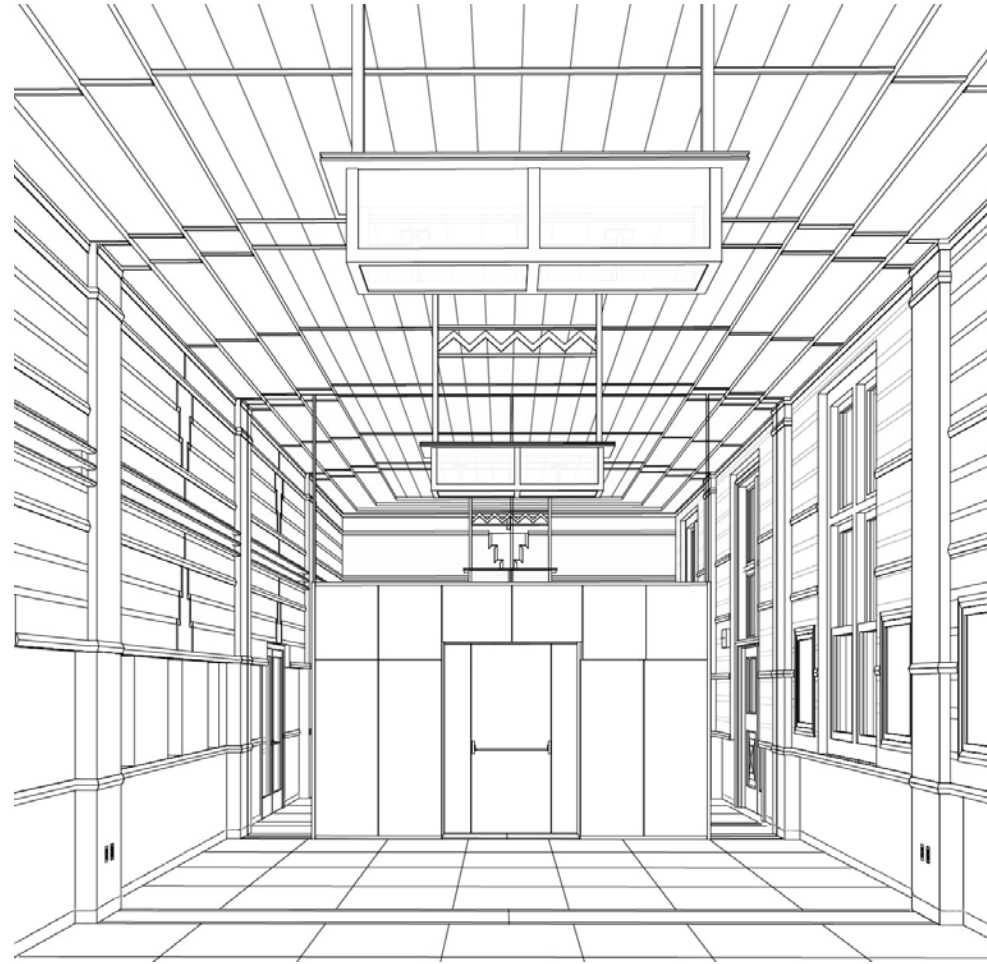


PHOTOGRAPHS OF REAMALGAMATION TREATMENT ON WOOD

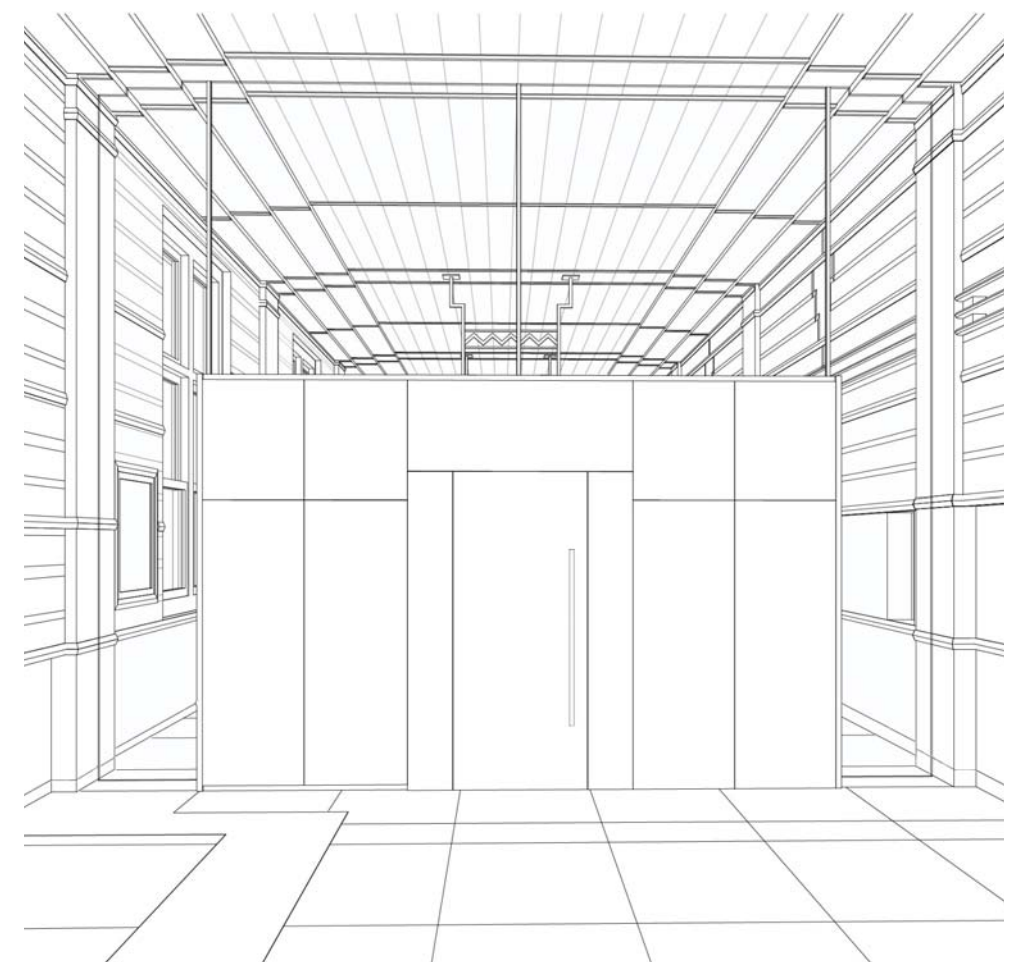
WOOD TREATMENT FIELD TRIALS



COMMISSARY LOOKING NORTH



COMMISSARY LOOKING NORTH

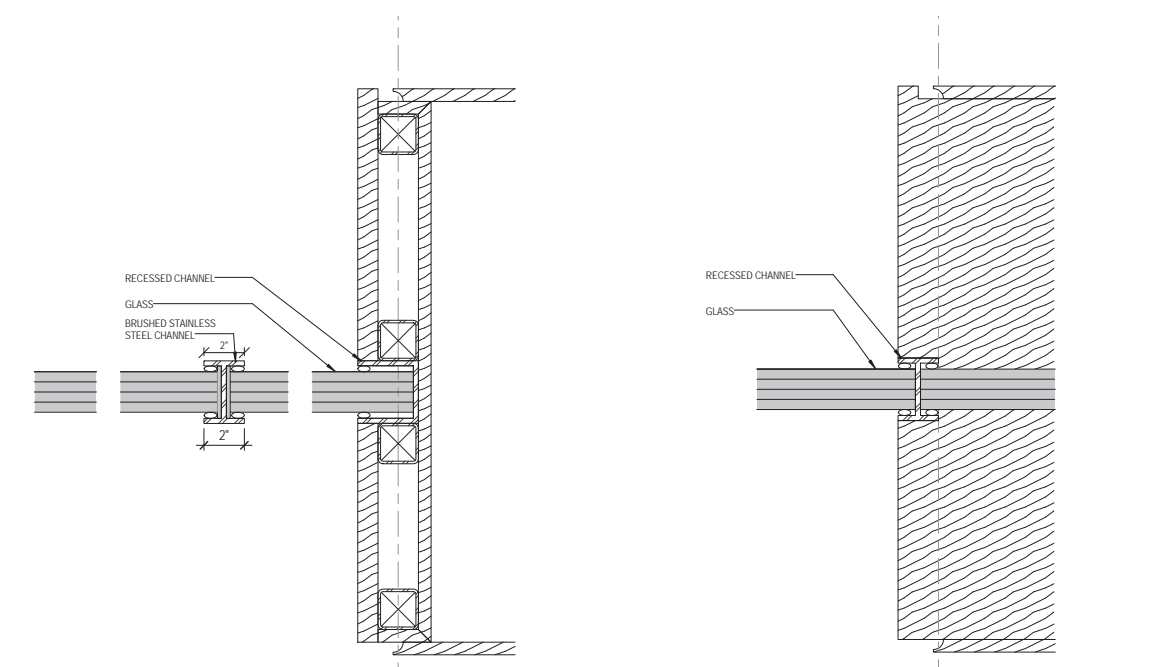


RECEPTION LOOKING SOUTH

RENDERINGS OF PROPOSED PARTITION WALL

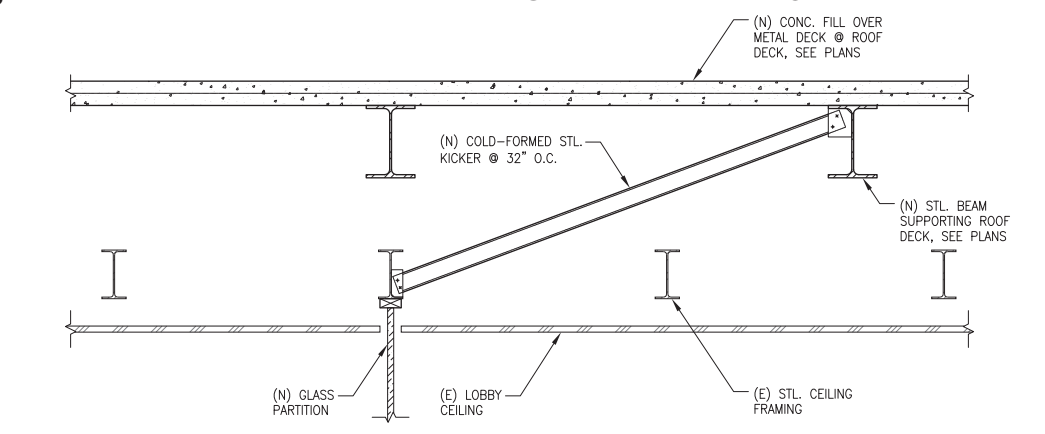


INTERIOR NORTH ELEVATION AT COMMISSARY

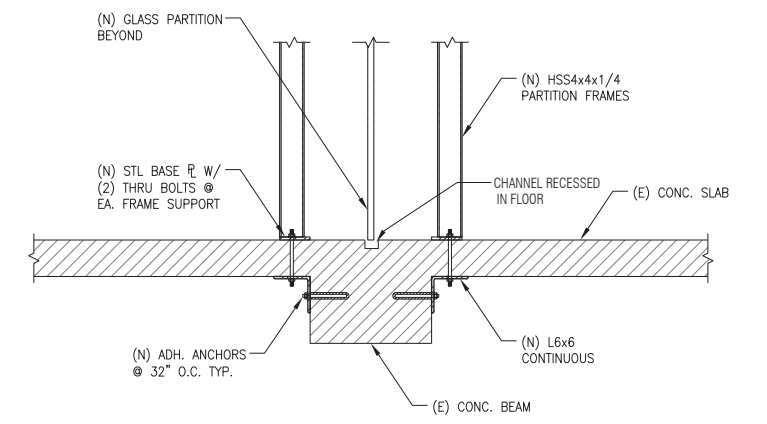


DETAIL AT CHANNEL GLASS TO GLASS

DETAIL AT RECESSED CHANNEL IN MILLWORK



TOP CONNECTION OF HISTORIC LOBBY GLASS PARTITION



BOTTOM CONNECTION OF HISTORIC LOBBY GLASS PARTITION

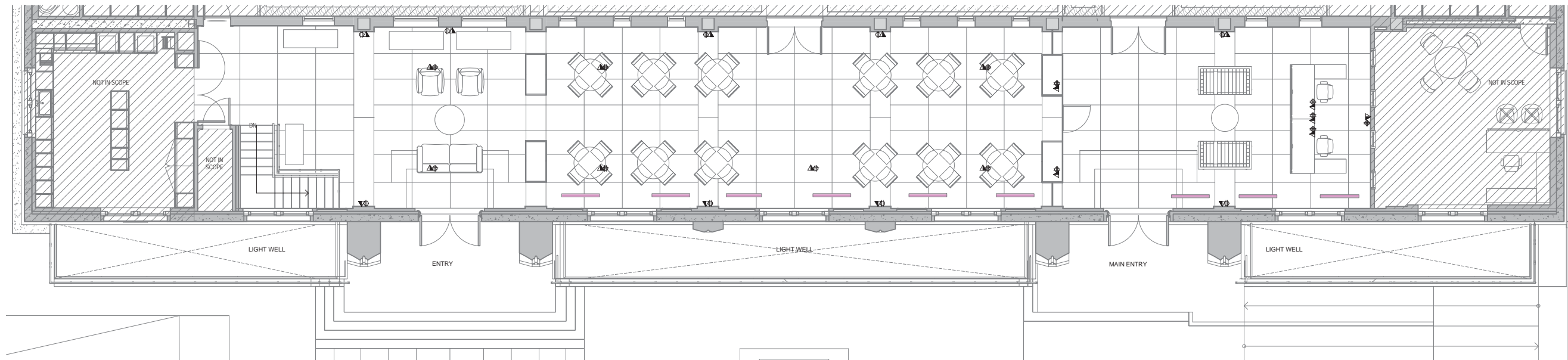
GLASS PARTITION WALL



LOBBY RENDERINGS



FLUSH FLOOR OUTLET



PROPOSED POWER AND COMMUNICATION PLAN



PULL STATION (COLOR TO BE BRONZE OR RED)
NOT TO SCALE



SPRINKLER CAP
NOT TO SCALE

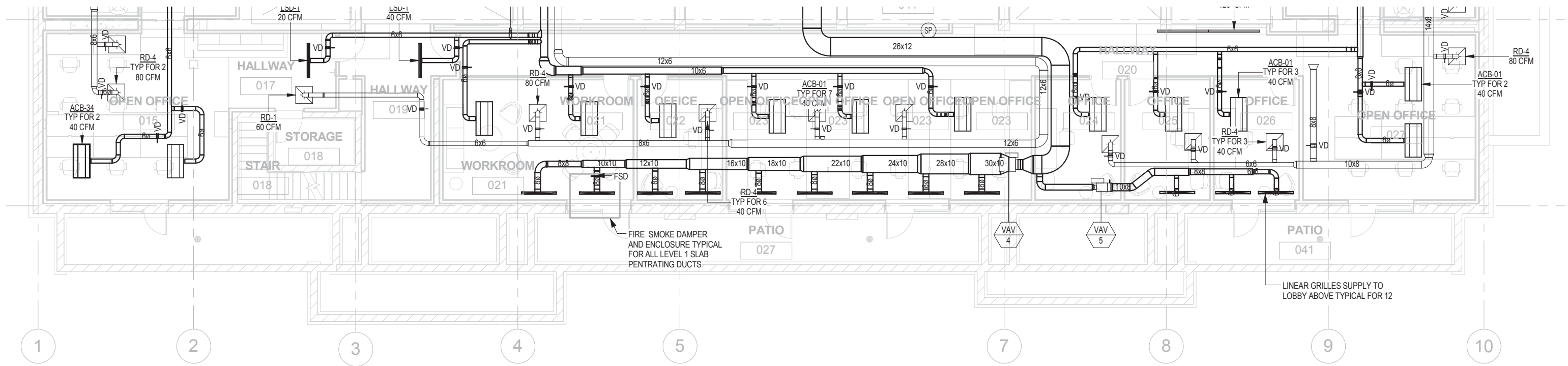


SPEAKER/STROBE (COLOR TO BE BRONZE OR RED)
NOT TO SCALE



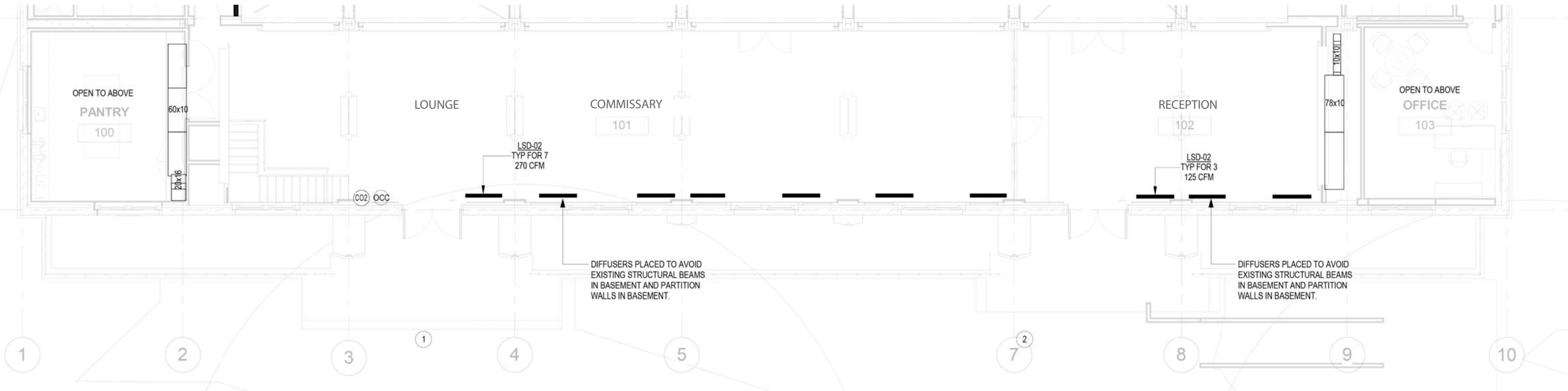
EXIT SIGN
NOT TO SCALE

PROPOSED FIRE LIFE SAFETY DEVICE PLAN

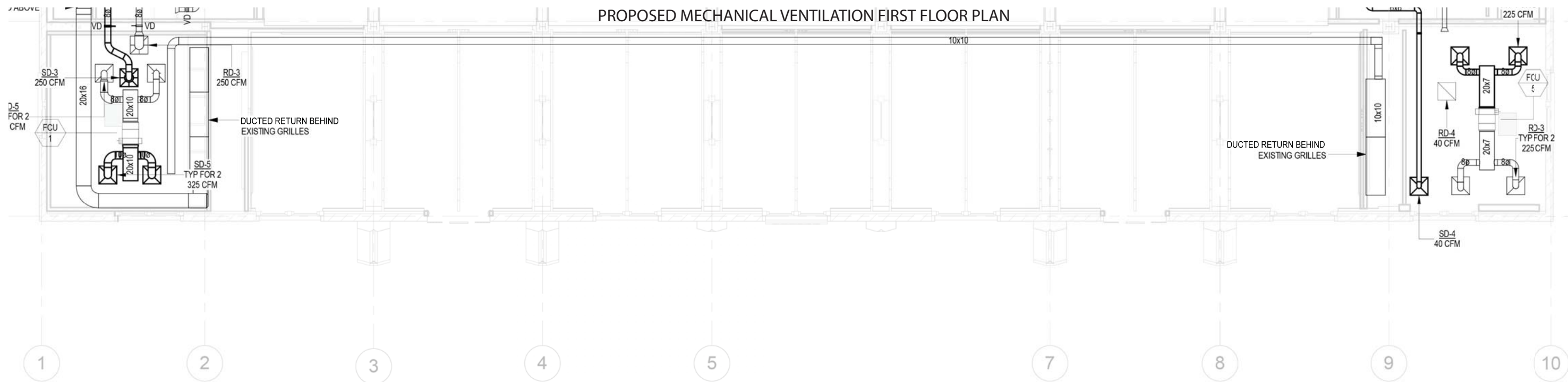


PROPOSED MECHANICAL VENTILATION BASEMENT PLAN

PROPOSED MECHANICAL PLAN

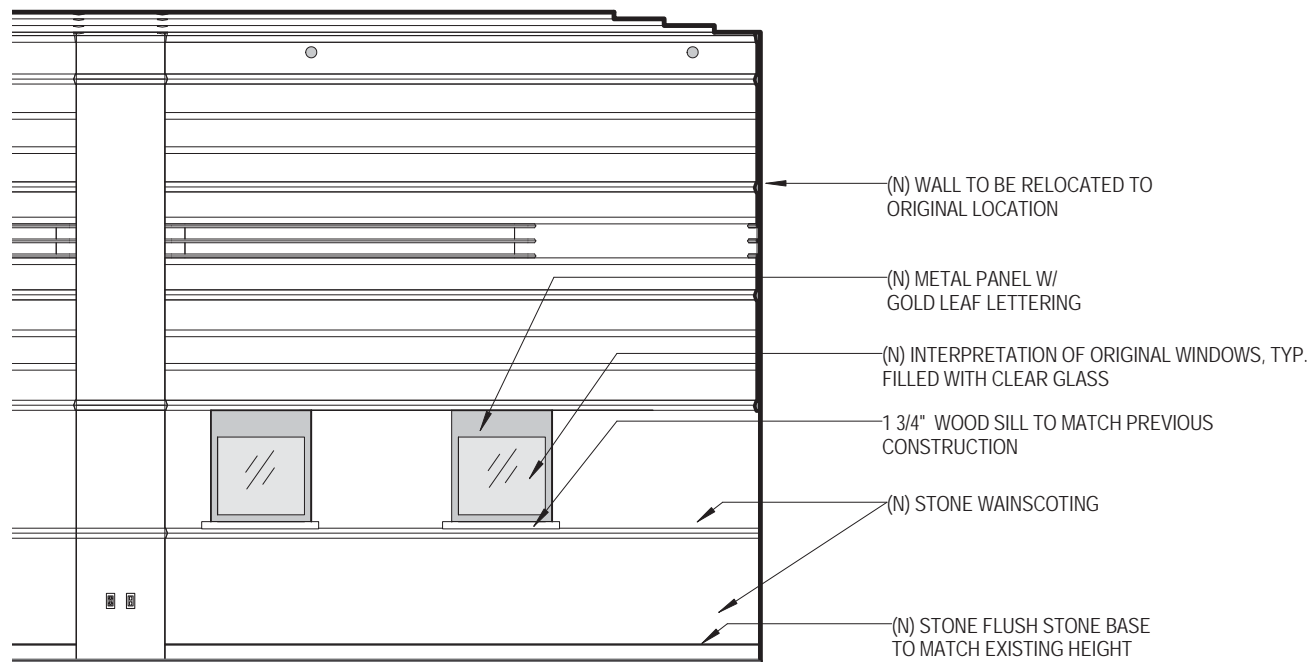


PROPOSED MECHANICAL VENTILATION FIRST FLOOR PLAN

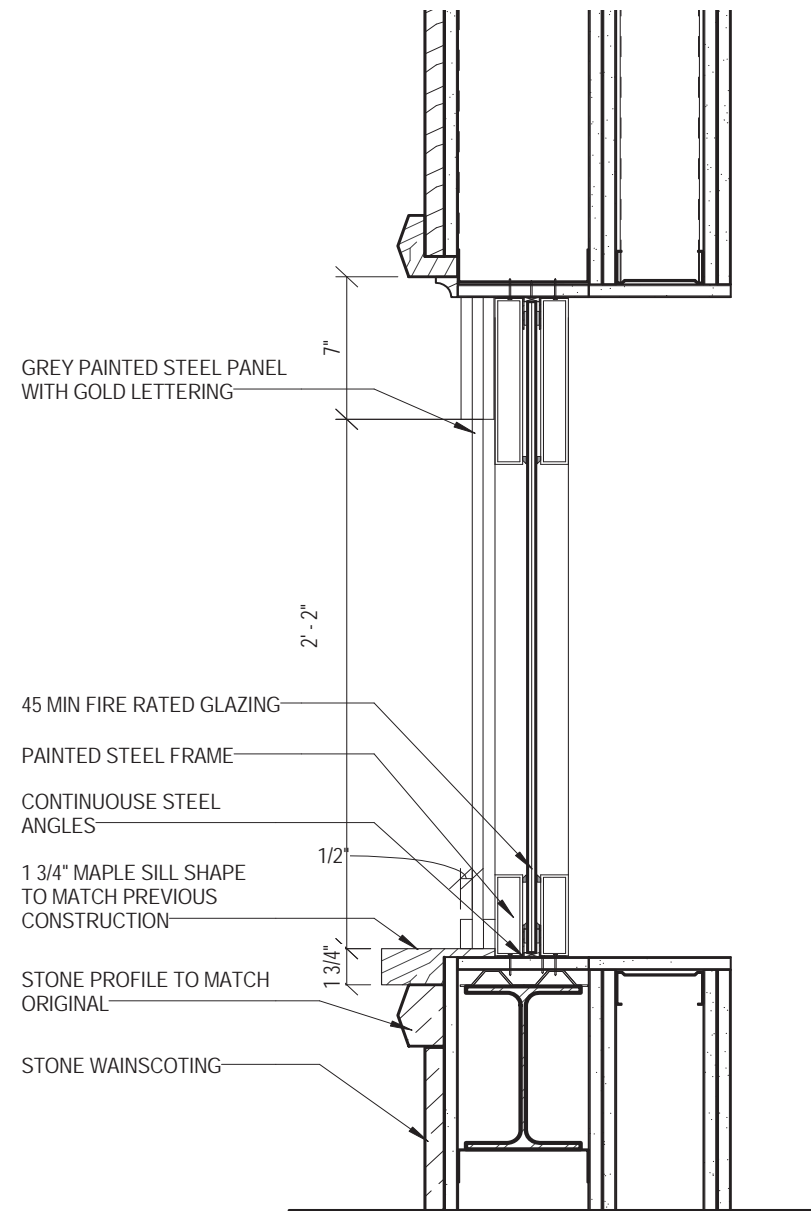


PROPOSED MECHANICAL VENTILATION SECOND FLOOR PLAN

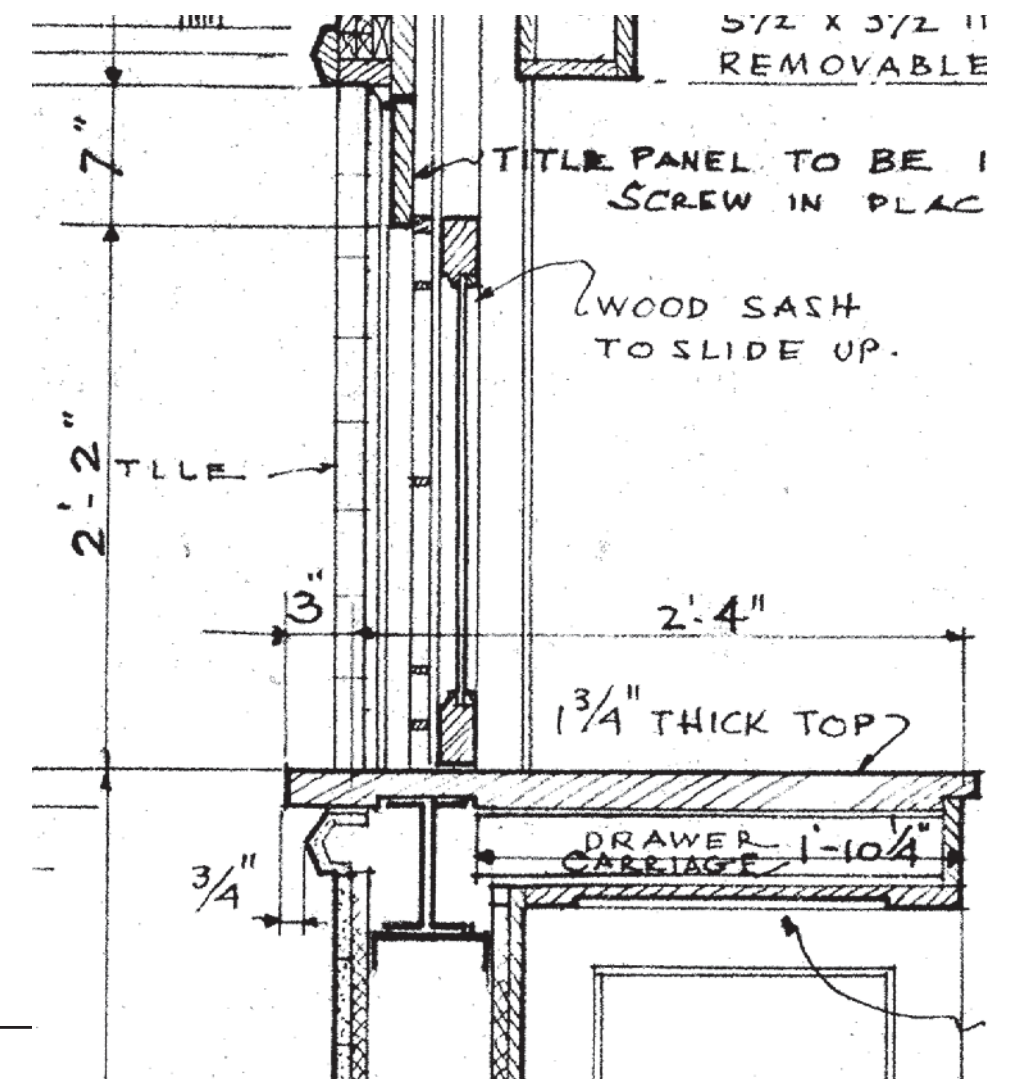
PROPOSED MECHANICAL PLAN



NEW WEST WALL WINDOWS

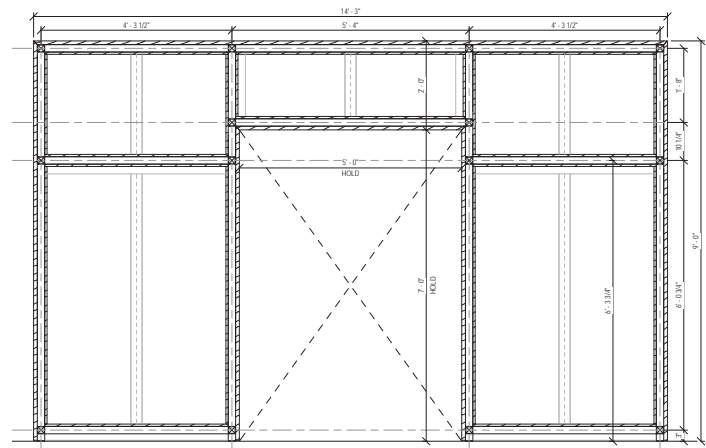


PROPOSED DETAIL OF WEST WALL WINDOWS
NOT TO SCALE

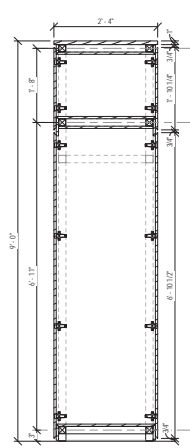


ORIGINAL DETAIL AT THE WEST WALL WINDOWS

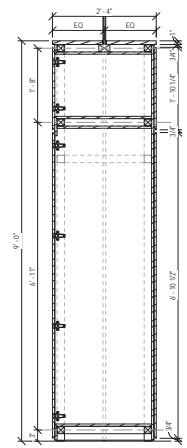
NEW WEST WALL SERVICE WINDOWS



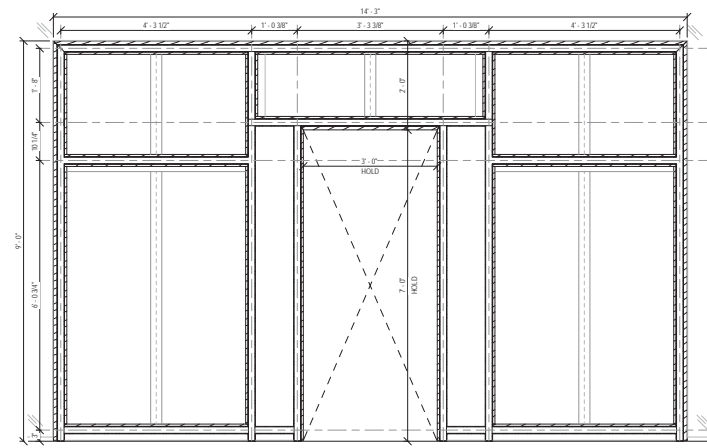
6F SECTION DETAIL @ LOBBY MILLWORK - LONGITUDINAL
3/4" = 1'-0"



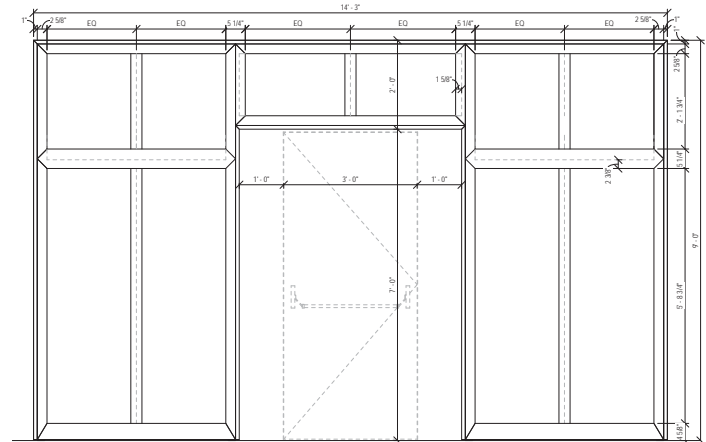
6D SECTION DETAIL @ LOBBY MILLWORK
3/4" = 1'-0"



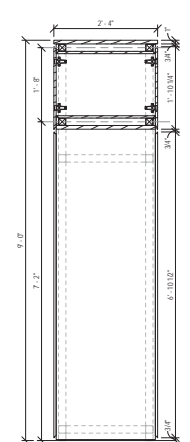
6C SECTION DETAIL @ LOBBY MILLWORK WITH GLASS CHANNEL
3/4" = 1'-0"



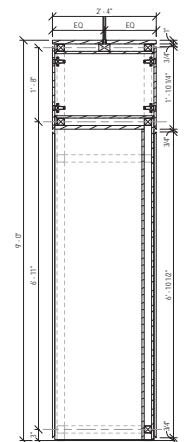
6B SECTION DETAIL @ LOBBY MILLWORK WITH GLASS CHANNEL - LONGITUDINAL
3/4" = 1'-0"



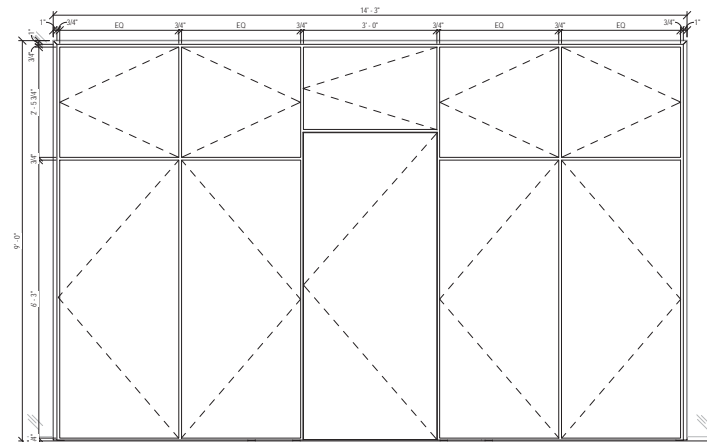
4F ELEVATION DETAIL @ LOBBY MILLWORK - WITH NO DOORS
3/4" = 1'-0"



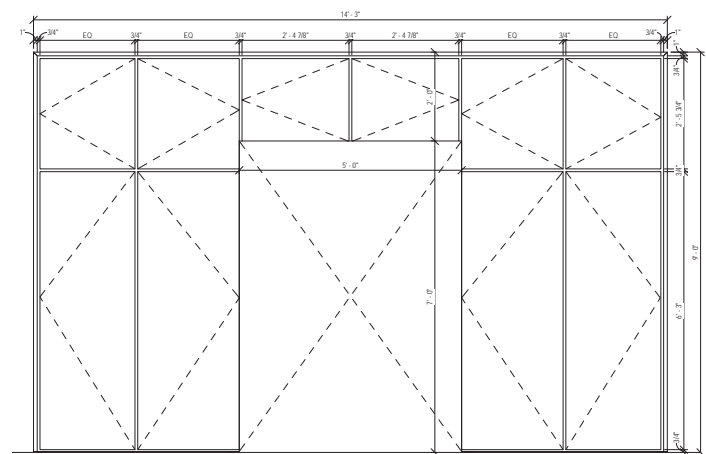
4D SECTION DETAIL @ LOBBY MILLWORK - THRESHOLD
3/4" = 1'-0"



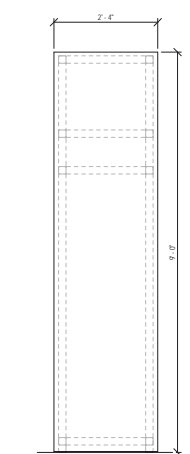
4C SECTION DETAIL @ LOBBY MILLWORK WITH GLASS CHANNEL - THRESHOLD
3/4" = 1'-0"



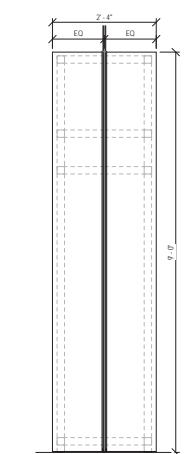
4B ELEVATION DETAIL @ LOBBY MILLWORK WITH CONCEALED DOOR
3/4" = 1'-0"



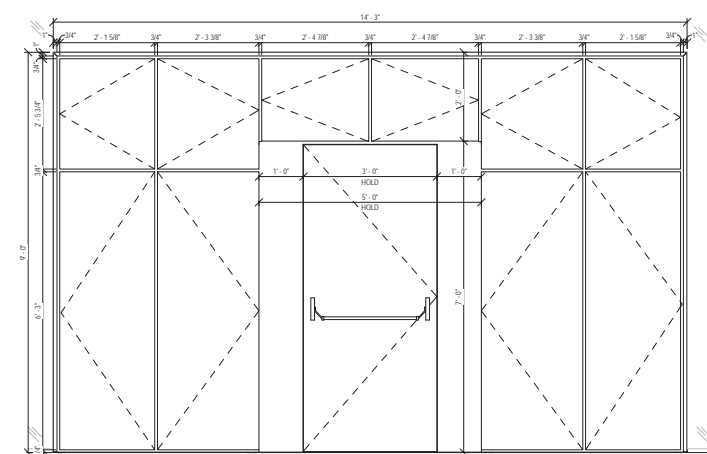
2F ELEVATION DETAIL @ LOBBY MILLWORK
3/4" = 1'-0"



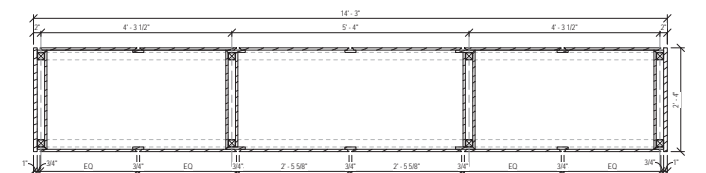
2D ELEVATION DETAIL @ LOBBY MILLWORK - SIDE
3/4" = 1'-0"



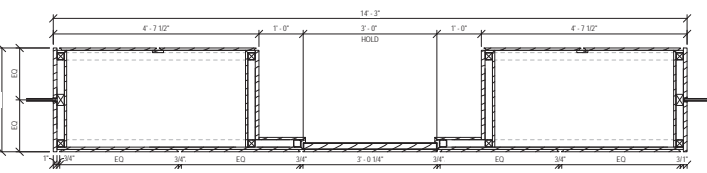
2C ELEVATION DETAIL @ LOBBY MILLWORK WITH GLASS CHANNEL - SIDE
3/4" = 1'-0"



2B ELEVATION DETAIL @ LOBBY MILLWORK WITH EGRESS DOOR
3/4" = 1'-0"



1F PLAN DETAIL @ LOBBY MILLWORK
3/4" = 1'-0"

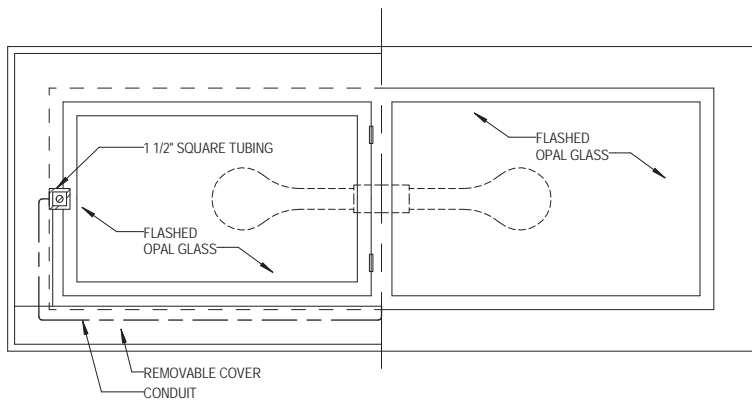


1B PLAN DETAIL @ LOBBY MILLWORK WITH EGRESS DOOR
3/4" = 1'-0"

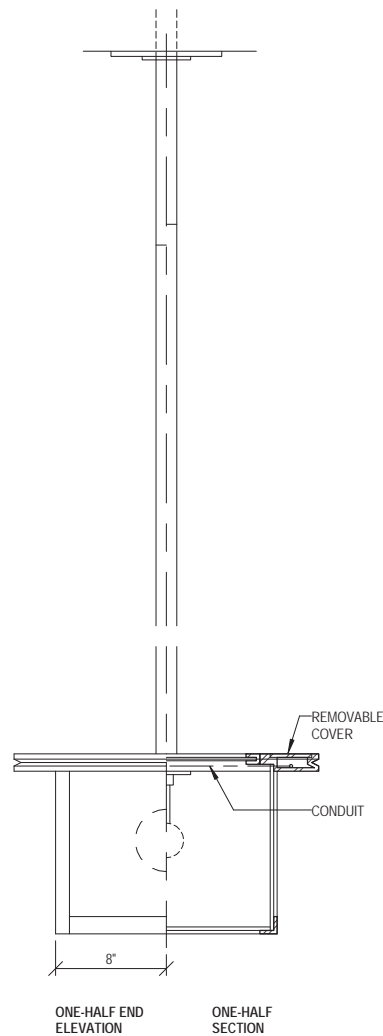
PROPOSED MILLWORK DETAILS NEAR SOUTH ENTRANCE

PROPOSED MILLWORK DETAILS NEAR NORTH ENTRANCE

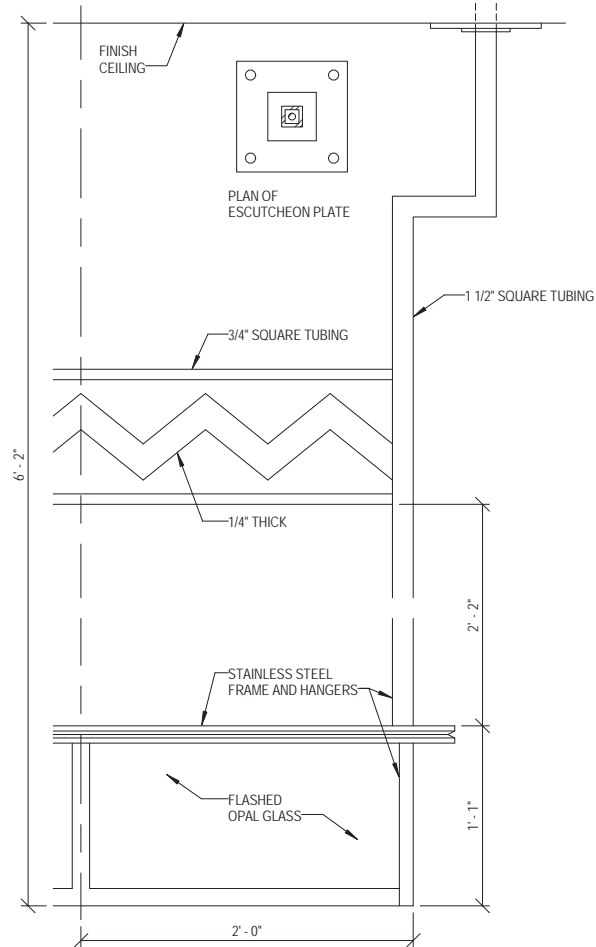
GLASS PARTITION WALL MILLWORK



ONE-HALF PLAN (EXISTING)

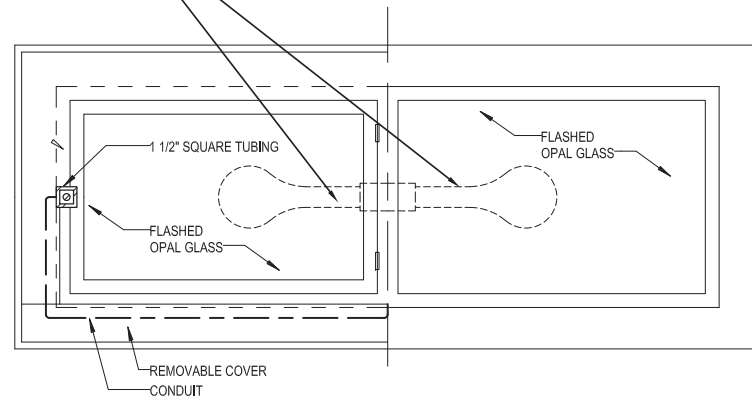


ONE-HALF END ELEVATION/ SECTION (EXISTING)

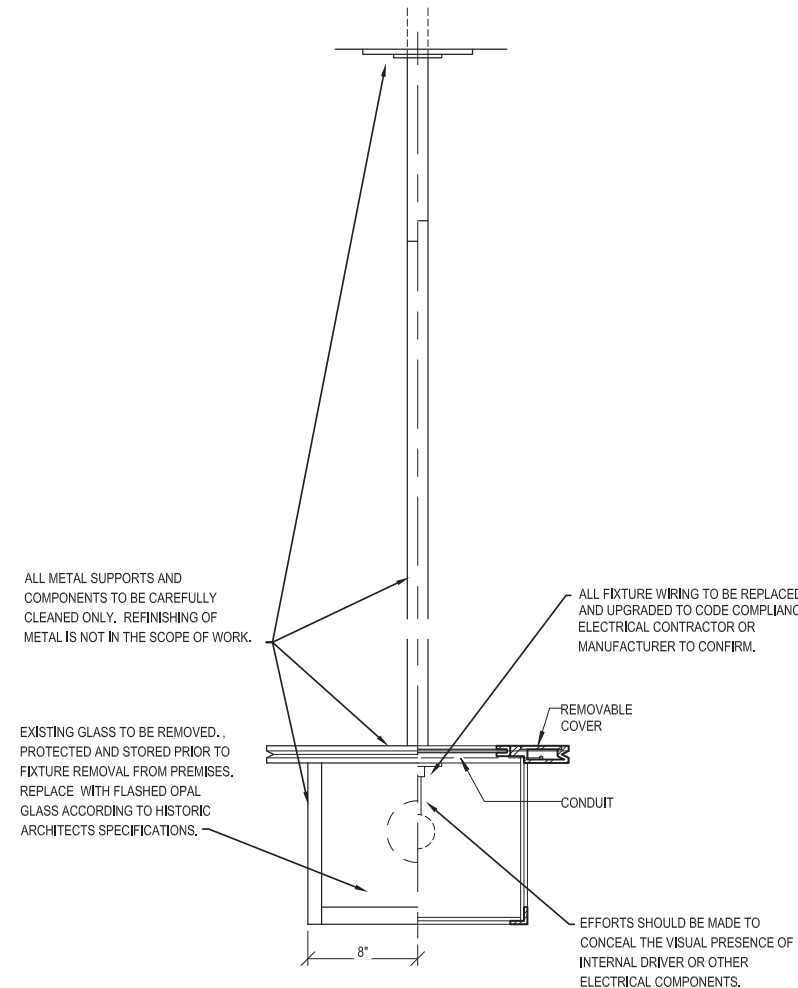


ONE-HALF END ELEVATION/ SECTION (PROPOSED RESTORATION DETAIL)

NEW LAMP OR LED ARRANGEMENT SHALL BE INSTALLED SO THAT A UNIFORM GLOW OF LIGHT IS ACHIEVED AS VIEWED THROUGH THE NEW GLASS. EFFORTS SHOULD BE MADE OR PREVENT THE VISIBILITY OF INDIVIDUAL LAMPS OR LED DIODES.



ONE-HALF PLAN (PROPOSED RESTORATION DETAIL)



ALL METAL SUPPORTS AND COMPONENTS TO BE CAREFULLY CLEANED ONLY. REFINISHING OF METAL IS NOT IN THE SCOPE OF WORK.

EXISTING GLASS TO BE REMOVED, PROTECTED AND STORED PRIOR TO FIXTURE REMOVAL FROM PREMISES. REPLACE WITH FLASHED OPAL GLASS ACCORDING TO HISTORIC ARCHITECTS SPECIFICATIONS.

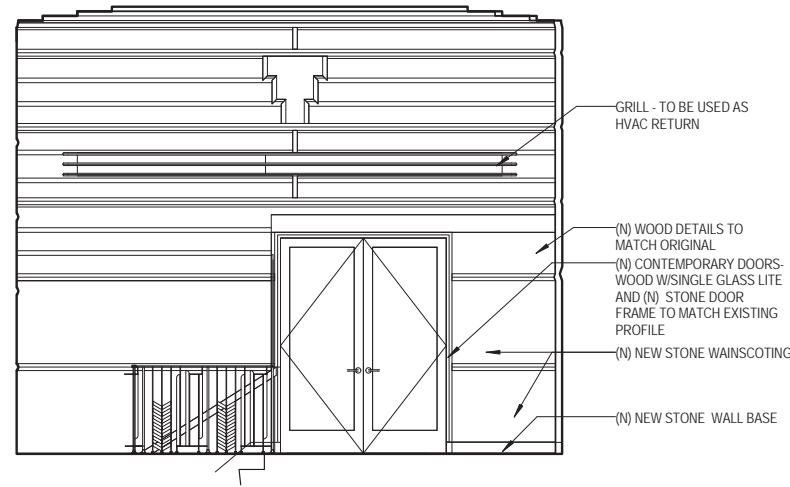
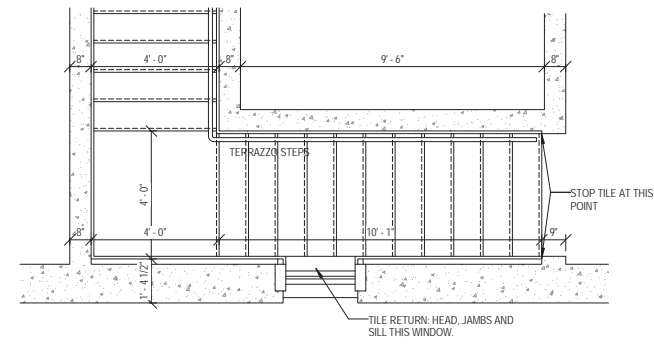
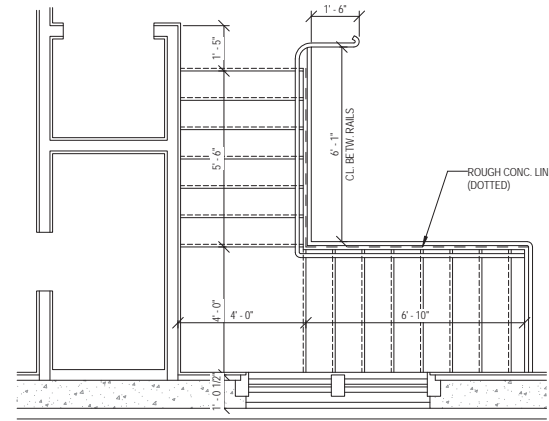
ALL FIXTURE WIRING TO BE REPLACED AND UPGRADED TO CODE COMPLIANCE. ELECTRICAL CONTRACTOR OR MANUFACTURER TO CONFIRM.

EFFORTS SHOULD BE MADE TO CONCEAL THE VISUAL PRESENCE OF INTERNAL DRIVER OR OTHER ELECTRICAL COMPONENTS.

F5 FIXTURE NOTES:

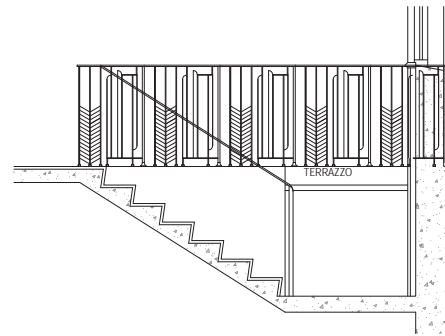
1. THE EXISTING (6) HISTORIC PENDANTS SHALL BE RETROFITTED FROM THEIR CURRENT FLUORESCENT LAMPING TO LED SOURCES ARRANGED IN A MANNER TO EMULATE ORIGINAL SOURCE ORIENTATIONS AND POSITIONS WHERE POSSIBLE. (PLEASE REFER TO THE HISTORIC CONSULTANT FOR GUIDELINES).
2. DETAILED SHOP DRAWINGS SHOWING MOUNTING AND ARRANGEMENT OF NEW LAMPS AND POWER CONNECTION RECOMMENDATIONS BY FABRICATOR TO BE REVIEWED AND APPROVED BY LIGHTING DESIGNER AND HISTORIC ARCHITECT PRIOR TO REFURBISHMENT.
3. FIXTURE REFURBISHMENT FABRICATOR TO PROVIDE MOCK-UP OF LED ARRANGEMENT FOR REVIEW AND APPROVAL BY OWNER AND LIGHTING DESIGNER PRIOR TO COMPLETION OF WORK ON REMAINING FIXTURES.
4. EXISTING FIXTURES TO BE REMOVED AND REFURBISHED OFF-SITE.
5. CONTRACTOR TO MAKE HISTORIC DECORATIVE LUMINAIRES AVAILABLE FOR VISUAL INSPECTION TO REFURBISHMENT FABRICATORS DURING BIDDING PHASE IN ORDER TO ALLOW REVIEW FIXTURE CONDITIONS AND TO CONFIRM OF PRICING.
6. PROPOSED RETROFIT FOR EACH FIXTURE IS AS FOLLOWS:
 - a. (3) ROWS OF 18 WATT, 3000K LED'S WITH 1509 LUMENS AT 36" LONG EACH IN THE UP POSITION.
 - b. (3) ROWS OF 18 WATT, 3000K LED'S WITH 9054 LUMENS AT 36" LONG EACH IN THE DOWN POSITION.
 - c. INTEGRAL 0-10 VOLT DIMMING DRIVER (AS REQUIRED)
 - d. 108 TOTAL WATTS PER FIXTURE (NOT INCLUDING DRIVER WATTAGE)
 - e. SPECIAL REFINISHING NOT EXPECTED-ONLY BASIC CLEANING OF FIXTURE COMPONENTS TO BE PROVIDED
 - f. EXISTING FIXTURES ASSUMED TO BE IN REASONABLY FINE CONDITION WITHOUT SIGNIFICANT DAMAGE.

HISTORIC PENDANT LIGHT FIXTURES

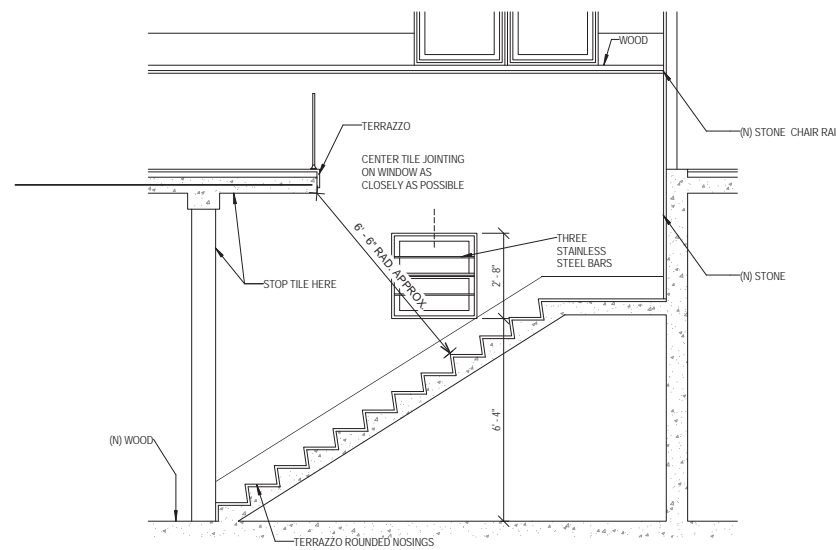
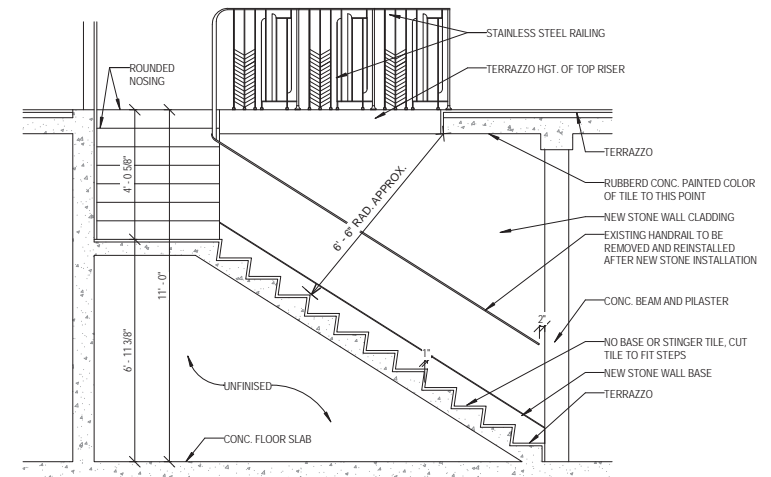


SOUTH INTERIOR ELEVATION - PROPOSED HISTORIC LOBBY

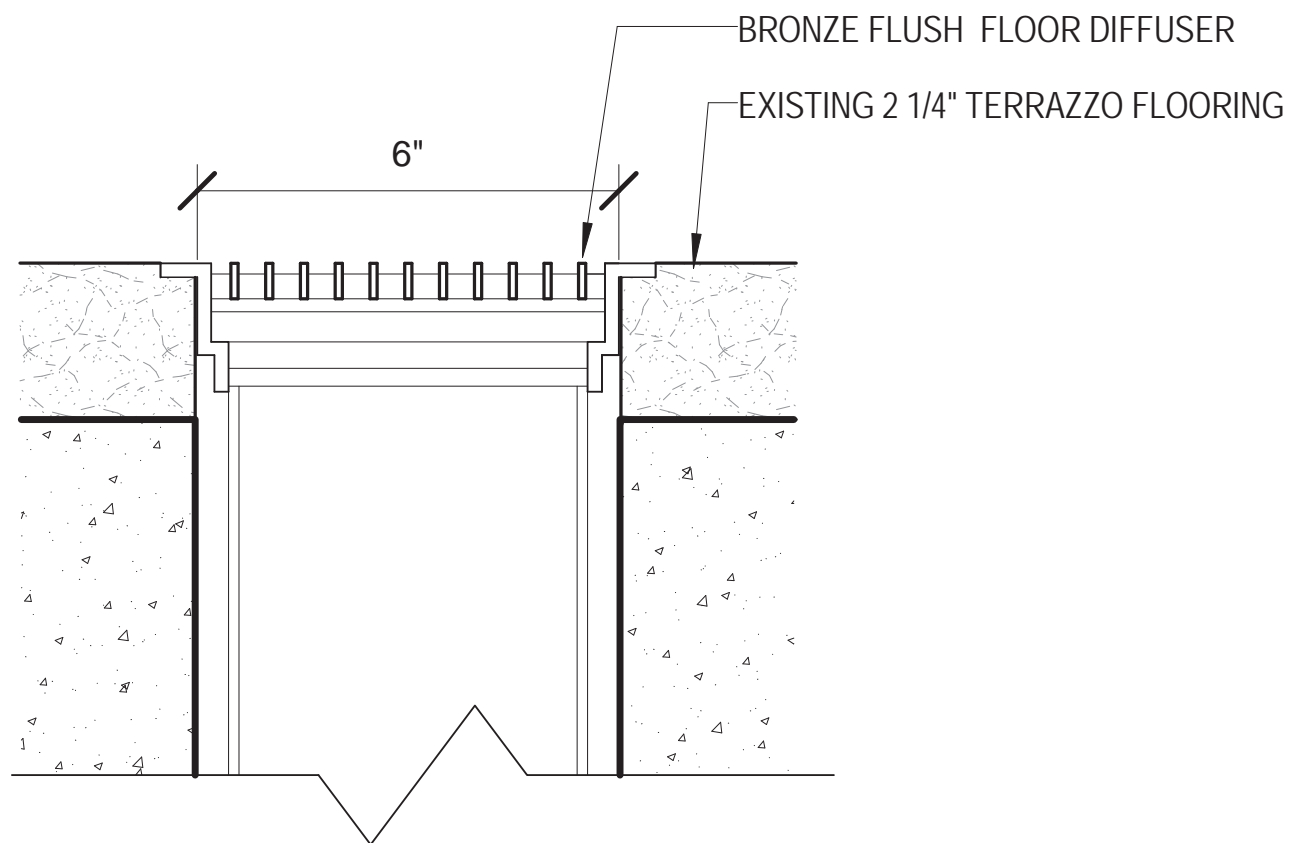
STAIR PLAN AT FIRST FLOOR



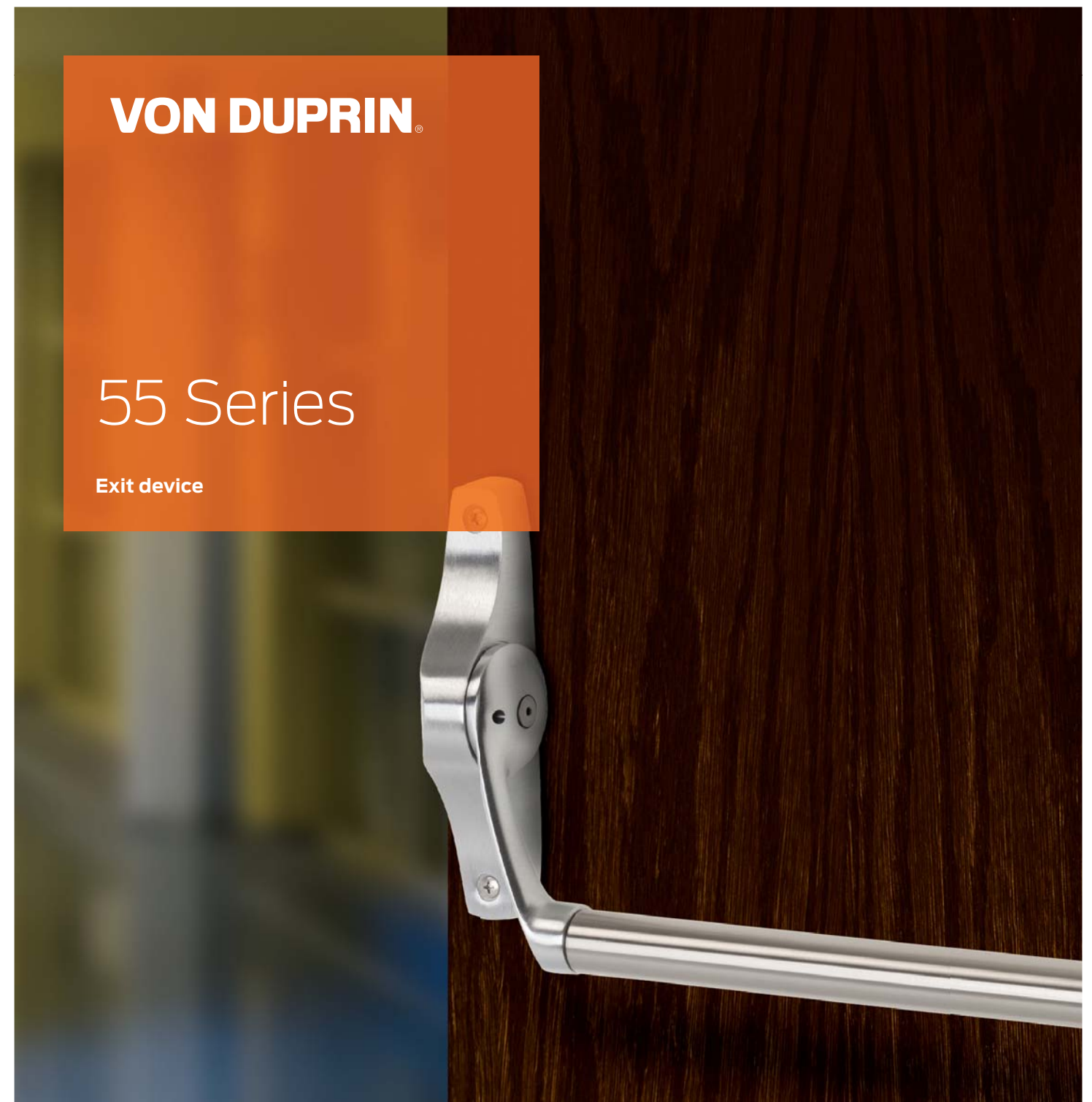
STAIR PLAN AT BASEMENT



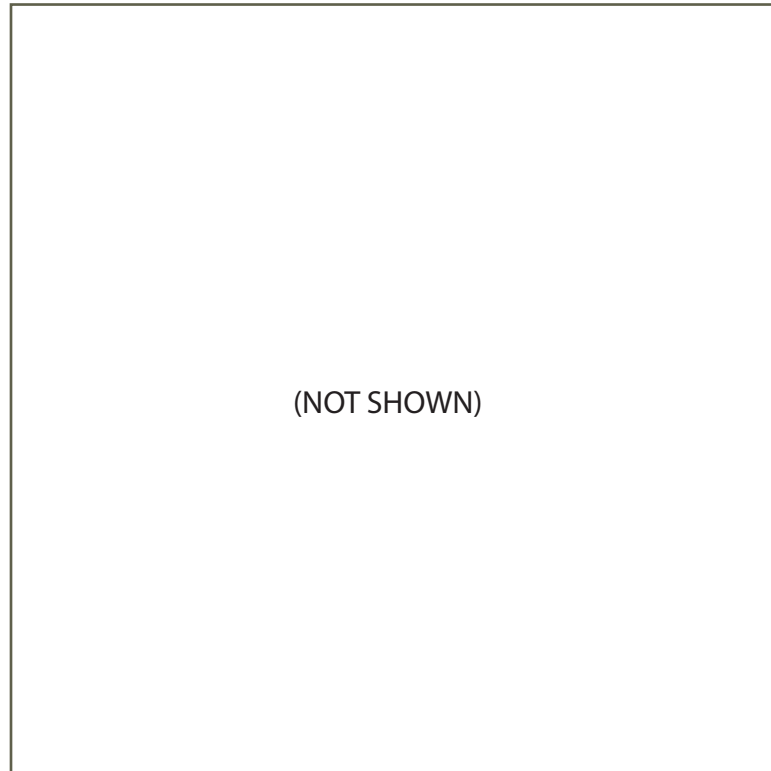
STAIR DETAILS AT HISTORIC LOBBY



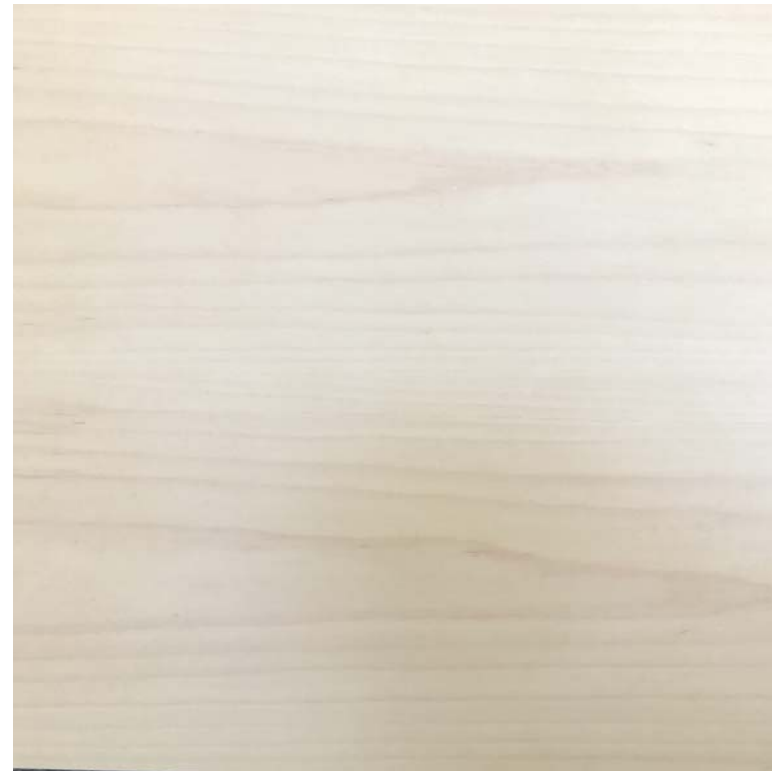
NEW FLOOR DIFFUSER



NEW PANIC HARDWARE AT EAST AND WEST DOORS



STARFIRE GLASS (SEE PHYSICAL SAMPLE)



MAPLE WOOD



LIMESTONE



PHOTO CREDIT: SANTA MONICA HISTORY MUSEUM



PHOTO CREDIT: SANTA MONICA HISTORY MUSEUM,
BEEBE COLLECTION



PHOTO CREDIT: SANTA MONICA HISTORY MUSEUM



PHOTO CREDIT: RACHLIN PARTNERS

HISTORIC PHOTOGRAPHS

HARDING LARMORE KUTCHER & KOZAL, LLP
ATTORNEYS AT LAW

WRITER'S DIRECT DIAL

(310) 451-3669

1250 SIXTH STREET, SUITE 200
SANTA MONICA, CALIFORNIA 90401-1602
TELEPHONE (310) 393-1007
FACSIMILE (310) 392-3537

WRITER'S E-MAIL ADDRESS

kutcher@hlkklaw.com

March 3, 2017

VIA E-MAIL

Santa Monica City Council
1685 Main Street, Room 212
Santa Monica, CA 90401

Re: Agenda Item 3.A (former US Post Office/Preservation Covenant)
Request to approve plans to restore and rehabilitate the historic lobby
Address: 1248 Fifth Street
Our client: 1248 5th Street, LLC
Our File No. 22200.001

Dear Councilmembers:

This letter is written on behalf of the owner of the former post office property. This property is on your consent calendar for approval of plans to restore and rehabilitate the historic lobby as part of an adaptive reuse of a designated City Landmark. The estimated cost of the restoration/rehabilitation component of the project is approximately \$12,250,000. The project team has worked closely with the Landmarks Commission and the Santa Monica Conservancy, including with respect to the lobby. And the owner will continue doing so through the course of construction by providing voluntary periodic updates to both the Commission and the Conservancy.

As the Staff Report indicates, the City Council has exclusive jurisdiction to approve the work on the lobby under the Preservation Covenant.

I am writing to urge your support for the Staff recommendation that the City Council:

- 1) Approve the request to restore and rehabilitate the historic interior lobby of the former Post Office building, located at 1248 5th Street, a designated City Landmark, as described in plans dated December 19, 2016; and
- 2) Designate the Landmarks Commission Secretary as its designee to review and approve certain future interior modifications to the historic lobby.

Consistent with the Preservation Covenant, all of the proposed work will be completed in conformance with *The Secretary of the Interior's Standards for the*

HARDING LARMORE KUTCHER & KOZAL, LLP
ATTORNEYS AT LAW

Santa Monica City Council
March 3, 2017
Page 2

Treatment of Historic Properties. This work will be guided and overseen by preservation architect Robert Chattel of Chattel, Inc. (<http://chattel.us/>) Mr. Chattel meets the Secretary of the Interior's Professional Qualifications Standards in Historic Architecture (36 CFR Part 61, App. A).

Both the LUCE and the City's Historic Preservation Element ("HPE") encourage such projects. For example:

LUCE Goal HP1: Preserve and protect historic resources in Santa Monica through the land use decision-making process.

HPE Objective 5.4: Continue to provide a streamlined approval process for historic properties that use the Secretary of the Interior's Standards for Rehabilitation and the California State Historical Building Code.

Very truly yours,



Kenneth L. Kutcher

KLK:sna

cc: Rick Cole
David Martin
Roxanne Tanemori
Scott Albright
Joe Lawrence
Heidi von Tongeln
Antony Biddle
Nancy Reid
Robert Chattel
Sejal Sonani
Laura O'Neill

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Landmarks Commission
1685 Main Street, Room 212
Santa Monica, CA 90401

March 5, 2017

Santa Monica City Council
1685 Main Street, Room 212
Santa Monica, CA 90401

RE: March 7, 2017 Agenda Item 3A: Request to Approve Plans to Restore and Rehabilitate the Historic Interior Lobby of the Former United States Post Office Building Located at 1248 5th Street, in Accordance with a Preservation Covenant Administered by the City Council

Dear Esteemed Members of the Santa Monica City Council,

I am writing on behalf of the Landmarks Commission regarding the proposed plans for the lobby of the former U.S. Post Office located at 1248 5th Street. As you know, in 2013 the City Council agreed to serve as the Certified Local Government responsible for administering a preservation covenant on the property that includes the building lobby. Although the Landmarks Commission is not responsible for approving proposed alterations to the lobby, the project team graciously presented the lobby plans to the Commission as a courtesy discussion item (Item 10-B) at the Commission's November 14, 2016 meeting. The presentation led to a robust discussion by the Commission during which Commissioners made the following suggestions:

- Explore retaining some of the P.O. boxes on the west wall
- Reword some of the written description of the project for accuracy
- Consider compatible colors for new system features, such as bronze or red finishes for sprinkler caps, fire boxes, and diffusers, instead of white
- Consider allowing the story of the building to be revealed through the patina of the existing finishes, such as the wood walls and ceilings and the terrazzo floor, instead of wholesale refinishing and repair of inconsistencies
- Consider refining the connection of the new glazed wall to the ceiling
- Consider using a consistent new wood type for all new wood features to clearly differentiate original wood features from new wood features
- Consider a detail or treatment for the glass walls to make them evident and avoid people walking into them
- Consider opening the lobby to the public a few times a year
- Consider reusing a historic writing desk in the new reception space

Following the discussion, the project team requested that the Commission make a recommendation to the City Council with conditions, rather than asking the project team to

come back to the Commission for an additional courtesy review. The Commission agreed that moving forward would be preferable for all. The Commission reiterated the suggestions regarding retaining the patina of the lobby's finishes, reusing the P.O. boxes, and thoughtfully reusing the historic writing desks. The Commission then proceeded with the vote in favor of formulating this recommendation to City Council regarding the proposed interior alterations to the lobby of the former U.S. Post Office located at 1248 5th Street, a designated City Landmark, as presented to the Commission with consideration of the recommendations that were part of the Commission's discussion. The consensus of the Landmarks Commission at the time was that the project as presented at the November 14, 2016 was generally appropriate and that the recommendations provided by Commissioners would serve to strengthen it.

In anticipation of the March 7, 2017 meeting of City Council, I have reviewed the staff report prepared for the project, along with the most recent project plans. While overall the project still seems appropriate and very respectful of the historic interior and its character-defining features, there are a few items that are not completely resolved, such as the exact finish for the wood walls and ceilings and the exact location/reuse of the historic writing desks. The staff report includes a recommendation that the review of minor changes to the lobby plans be delegated to the Landmarks Commission Secretary, rather than returning to City Council for a full vote. While I agree that it would be unnecessary to bring minor changes to City Council as the project is further refined, I do not fully agree that the minor reviews should be the sole responsibility of the Landmarks Commission Secretary. Instead, I believe it would be appropriate to form a subcommittee of Landmarks Commissioners to serve in an advisory role and work in conjunction with the Landmarks Commission Secretary to consult on minor changes. The members of the Landmarks Commission have certain expertise in the rehabilitation of historic properties. Forming a subcommittee to consult on project changes would provide the Commission the ability to offer this expertise without slowing down the project by mandating City Council or Landmarks Commission hearings, which I believe is the ultimate intent of staff's recommendation.

On behalf of the Landmarks Commission, I would like to reiterate our gratitude to the project team for their willingness to include us in the development of the lobby plans to date. I would also like to thank City Council for your consideration of this letter. I encourage you to review the current application in light of the Commission's recommendations to the applicant team and our request to form a subcommittee for reviewing future, minor alterations to the plans.

Sincerely,



Laura O'Neill
Chairperson, Santa Monica Landmarks Commission



Landmarks Commission
1685 Main Street, Room 212
Santa Monica, CA 90401

March 5, 2017

Santa Monica City Council
1685 Main Street, Room 212
Santa Monica, CA 90401

RE: March 7, 2017 Agenda Item 3A: Request to Approve Plans to Restore and Rehabilitate the Historic Interior Lobby of the Former United States Post Office Building Located at 1248 5th Street, in Accordance with a Preservation Covenant Administered by the City Council

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Sincerely,



Laura O'Neill
Chairperson, Santa Monica Landmarks Commission

Vernice Hankins

From: Carol Lemlein <lemlein@aol.com>
Sent: Tuesday, March 07, 2017 10:33 AM
To: councilmtgitems
Subject: Council Agenda Item 3.A Request to Approve Plans to Restore and Rehabilitate the Historic Interior Lobby of the Former United States Post Office Building Located at 1248 5th Street, in Accordance with a Preservation Covenant Administered by the City C...

Mayor Winterer and Council Members,

The Board of the Santa Monica Conservancy supports the proposal before you tonight to restore and rehabilitate the historic interior lobby of the former Post Office at 1248 5th Street.

Since Skydance was identified as the new owner, its team, which includes preservation architect Robert Chattel, has been working closely with the Landmarks Commission and members of our Advocacy Committee to review their research on the building and their plans for the restoration/renovation.

With respect to the lobby, windows and entry doors, the development team has had the benefit of having access to the original plans and other materials from the USPS archives which were unavailable until the sale took place. In fact, you may be surprised to learn just how much change has taken place over the years. They have gone to great lengths to respect the original configuration of the lobby as they made plans for its use as a lobby for Skydance Productions and a commissary area for their employees.

We respectfully request that you act on the staff recommendation to approve the plans as presented and designate responsibility to review and approve certain future interior modifications to the historic lobby to Landmarks Commission staff as described.

We look forward to continuing to work with the project team to review progress on the rehabilitation periodically as their work proceeds.

Sincerely,

Carol Lemlein
President, Santa Monica Conservancy Board of Directors
www.smconservancy.org